

WYETH COVE SPECIFIC PLAN

Located at Benson Avenue and 15th Street

CITY OF UPLAND CALIFORNIA

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TABLE OF CONTENTS

Section 1. Introduction

1.1	Project Objectives	1.1
1.2	Project Summary.....	1.1
1.3	Project Setting	1.1
1.4	Project Description	1.1
1.4.1	Residential.....	1.2
1.4.2	Recreational Amenities	1.2
1.4.3	Pedestrian Accessibility	1.2
1.5	Purpose and Authority	1.3
1.5.1	Purpose.....	1.3
1.5.2	Authority of the Specific Plan	1.3
1.6	Development Approval Components	1.5
1.6.1	General Plan Amendment	1.5
1.6.2	Specific Plan.....	1.5
1.6.3	Subdivision Maps	1.5
1.6.4	Development Plan Review	1.5
1.7	Relationship of the Specific Plan to the City of Upland General Plan	1.6
1.8	CEQA Compliance	1.6
1.9	Severability.....	1.6

Section 2. Plan Elements

2.1	Land Use	2.7
2.1.1	Residential Use	2.7
2.1.2	Open Space and Recreational Use	2.7
2.1.3	Pedestrian Access	2.10
2.2	Infrastructure and Public Services	2.10
2.2.1	Streets	2.10
2.2.2	Water	2.10
2.2.3	Sanitary Sewer	2.10
2.2.4	Storm Drain.....	2.17

2.3	Public Utilities	2.17
2.3.1	Telephone.....	2.17
2.3.2	Natural Gas.....	2.17
2.3.3	Electricity	2.17
2.3.4	Solid Waste	2.17
2.4	Grading Concept.....	2.17

Section 3. Development Regulations

3.1	Introduction.....	3.21
3.2	Definition Of Terms	3.21
3.3	Applicability.....	3.21
3.4	Administration	3.21
3.5	Methods and Interpretation.....	3.21
3.6	General Site Development Criteria.....	3.21
3.7	Residential Development Standards.....	3.22
3.7.1	General	3.22
3.7.2	Permitted Uses	3.22
3.7.3	Conditionally Permitted Uses.....	3.22
3.7.4	Prohibited Uses	3.22
3.7.5	Special Uses	3.22
3.8	Landscape Standards	3.24
3.8.1	General Provisions	3.24
3.8.2	Landscape Standards	3.24
3.9	Signage.....	3.24
3.10	Lighting	3.25

Section 4. Residential Design Guidelines

4.1	Philosophy	4.27
4.2	Architectural Intent	4.27
4.3	Residential Design Standards: General Standards Applicable to Both Styles	4.27
4.3.1	Roof	4.27
4.4	Traditional Style	4.28
4.4.1	Exterior Materials	4.28
4.4.2	Roofs	4.28
4.4.3	Windows	4.29
4.4.4	Design Features	4.29
4.4.5	Colors	4.29
4.5	Cottage Style	4.32
4.5.1	Exterior Materials	4.32
4.5.2	Roofs	4.32
4.5.3	Windows	4.32
4.5.4	Design Features	4.32
4.5.5	Colors	4.32
4.6	Landscape Design Guidelines	4.35
4.6.1	General	4.35
4.6.2	Hardscape Elements	4.35
4.6.3	Softscape Elements	4.36

Section 5. Implementation

5.1	Methods and Interpretation.....	5.47
5.2	Applicability.....	5.47
5.3	Interpretation.....	5.47
5.4	Implementation of Design Guidelines.....	5.47
5.5	Development Review	5.47
5.5.1	Subdivision Maps	5.47
5.5.2	Site Plan and Architectural Review	5.48
5.6	Specific Plan Modifications and Amendments	5.48
5.6.1	Minor Modifications	5.48
5.6.2	Specific Plan Amendments	5.48
5.7	Appeals	5.48
5.8	Compliance with Mitigation Measures.....	5.49
5.9	Project Financing.....	5.49
5.10	Project Phasing.....	5.49
5.11	Maintenance.....	5.49

Section 6. General Plan Consistency

6.1	Land Use	6.51
6.2	Housing.....	6.52
6.3	Circulation	6.52
6.4	Noise.....	6.54

LIST OF EXHIBITS & TABLES

Section 1. Introduction

Exhibit 1	
Regional Context Map	1.2
Exhibit 2	
Project Vicinity Map	1.3
Exhibit 3	
Project Setting	1.4

Section 2. Plan Elements

Table 1	
Benson Avenue Specific Plan Statistical Summary	2.7
Exhibit 4	
Land Use Plan	2.8
Exhibit 5	
Conceptual Courtyard Plan	2.9
Exhibit 6	
Master Plan of Circulation	2.11
Exhibit 7	
Roadway Improvements	2.12
Exhibit 8	
Private Loop Road	2.13
Exhibit 9	
Private Street Sections	2.14
Exhibit 10	
Water Master Plan	2.15
Exhibit 11	
Sewer Master Plan	2.16
Exhibit 12	
Storm Drain Master Plan	2.18
Exhibit 13	
Existing Topography	2.19
Exhibit 14	
Conceptual Grading Plan	2.20

Section 3. Development Regulations

Table 2	
Residential Site Development Standards	3.23

Section 4. Residential Design Guidelines

Exhibit 15	
Traditional Features	4.30
Exhibit 16	
Traditional Style	4.31
Exhibit 17	
Cottage Features	4.33
Exhibit 18	
Cottage Style	4.34
Table 3	
Suggested Plant List	4.37
Table 3 (cont.)	
Suggested Plant List	4.38
Table 3 (cont.)	
Suggested Plant List	4.39
Table 3 (cont.)	
Suggested Plant List	4.40
Exhibit 19	
Conceptual Landscape Plan	4.41
Exhibit 20	
Streetscapes and Entries	4.42
Exhibit 21	
Hardscape Features	4.43
Exhibit 22	
Conceptual Courtyard Landscape Plan	4.45

SECTION 1. INTRODUCTION

1.1 PROJECT OBJECTIVES

The Wyeth Cove Specific Plan is a proposal for the development of approximately 4.3 acres located at the southeast corner of Benson Avenue and 15th Street in the City of Upland. The Wyeth Cove Specific Plan is a proposal for a new residential community designed to blend with the existing surrounding residential community. The Wyeth Cove Specific Plan is designed to combine a safe and pleasant residential environment, with on-site open space and amenities, within walking distance to parks, commercial services and recreational facilities.

The Wyeth Cove Specific Plan promotes a design for a community which:

- ♦ Promotes pedestrian mobility.
- ♦ Encourages neighborhood interaction through provision of a centrally located park and informal gathering areas.
- ♦ Provides connectivity among residential buildings and with surrounding recreational land uses through the development of a network of sidewalks within the community; and provides pedestrian access to parks and recreational uses adjacent to the Specific Plan area.
- ♦ Promotes exceptional architectural and landscape design.

1.2 PROJECT SUMMARY

The Wyeth Cove Specific Plan is comprised of approximately 4.3 acres of land within the City of Upland. The regional location of the Wyeth Cove Specific Plan area is illustrated in Exhibit 1, “Regional Context Map” and is further described in the “Project Vicinity Map,” Exhibit 2.

The Wyeth Cove Specific Plan area (Project Site) is bounded on the west by Benson Avenue and on the north by 15th Street in the City of Upland. The Wyeth Cove Specific Plan is a proposal by Lewis Investment Company, LLC, hereinafter referred to as the project applicant, for the development of up to 40 single family detached residential dwelling units.

1.3 PROJECT SETTING

The approximately 4.3 acre Project Site is a vacant infill site located at the southeast corner of Benson Avenue and 15th Street in the City of Upland. The Project Site is bounded by residential and recreational uses on the north, light manufacturing uses on the south, a park on the east, and an existing mining operation on the west. The project setting for the Wyeth Cove Specific Plan is illustrated on Exhibit 3, “Project Setting.”

The City of Upland General Plan designates the Project Site for “Light Industrial” land use. The Project Site has a zoning district classification of ML. As part of project approval the City of Upland will adopt a General Plan Amendment to change the General Plan land use designation for the Project Site to “Single Family Residential/7-10 dwelling units per acre” and a zone change changing the zoning district classification to “Specific Plan.”

1.4 PROJECT DESCRIPTION

The Wyeth Cove Specific Plan is a comprehensive plan for the development of a residential community of up to 40 single family detached residential dwelling units. The design of the community fosters a sense of place through the provision of a safe and logical street system including landscaped streets and sidewalks linking residential units to a centrally located park. The internal sidewalk system will connect the project to 15th Street and the public sidewalk system offering residents the opportunity to walk to the existing public park located east of the Project Site, to adjacent recre-

ational uses located north and east of the Project Site and to commercial services located at Benson Avenue and Foothill Boulevard.

1.4.1 Residential

Single family detached housing in a courtyard design is proposed for the Project Site. A total of up to 40 residential detached dwelling units will be developed at a density of 9.3 dwelling units per acre. Residential development will consist of up to 40 units designed in a courtyard configuration within modules of 4 and 6 residential units surrounding a common motorcourt.

1.4.2 Recreational Amenities

The proposed project will include an approximately .30 acre park facility providing passive recreational opportunities for residents. The park will be improved with picnic tables, barbeque facilities, a tot-lot, and benches.

1.4.3 Pedestrian Accessibility

The proposed project will include a simple loop street with landscaped sidewalks developed throughout the community. Connectivity to sidewalks within 15th Street provides pedestrian access from the Project Site to the public recreational facilities located north of the Project Site and the public park located east of the Project Site.

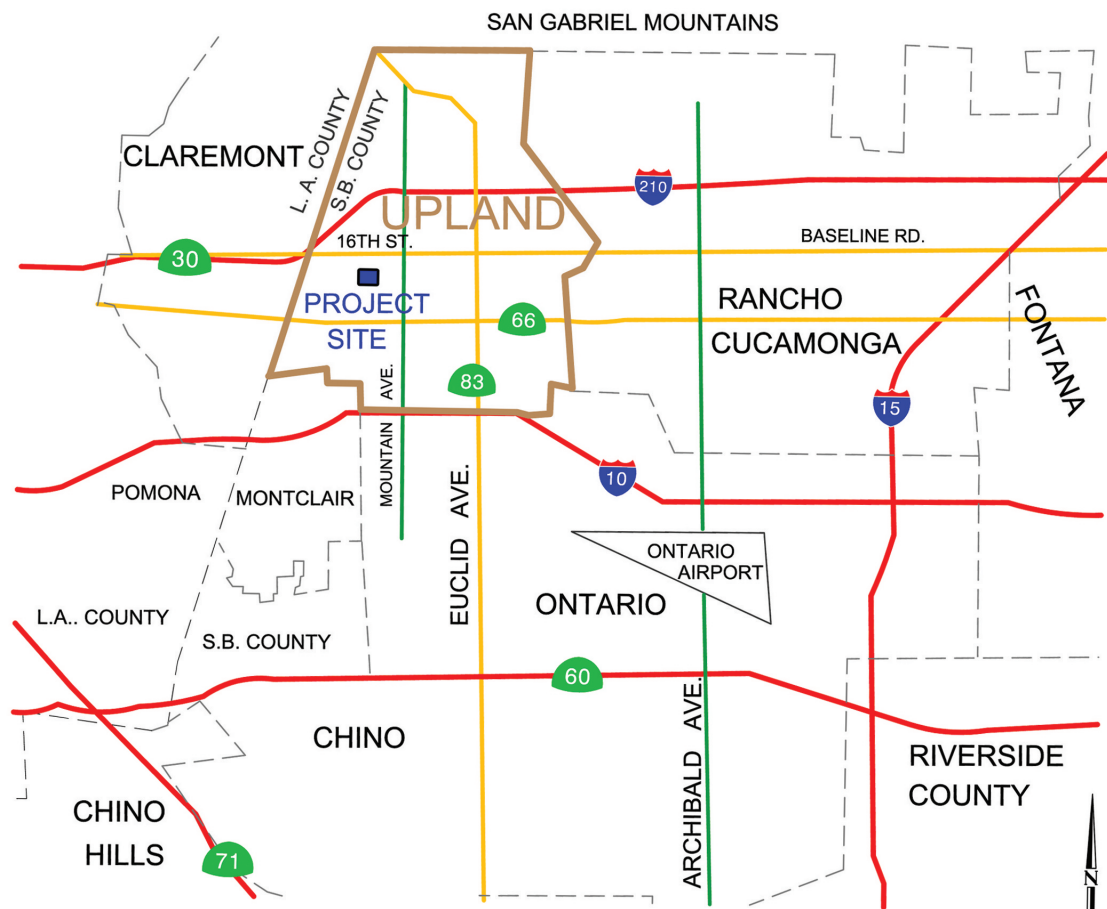


Exhibit 1
Regional Context Map

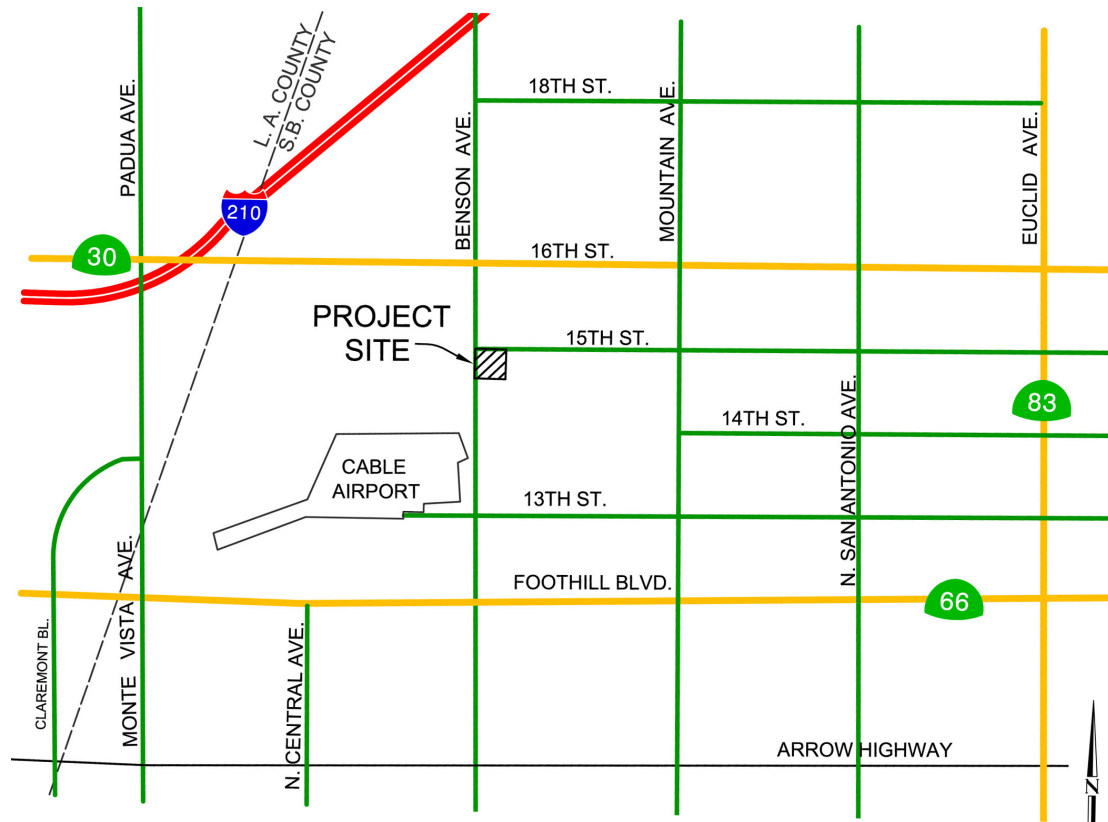


Exhibit 2
Project Vicinity Map

1.5 PURPOSE AND AUTHORITY

1.5.1 Purpose

The Wyeth Cove Specific Plan comprehensive-ly plans for residential and recreational land uses within the Project Site. When adopted by the City of Upland, the Wyeth Cove Specific Plan will establish the zoning for the Project Site and define the development regulations, requirements, and design guidelines for development of the Project Site. The Wyeth Cove Specific Plan establishes the procedures and requirements to approve development within the Project Site to insure that the City of Upland General Plan, as amended, is implemented.

1.5.2 Authority of the Specific Plan

State of California Government Code, Title 7, Division 1, Chapter 3, Article 8, Section 65450-57 grants authority to cities to adopt specific plans for purposes of implementing the goals and policies of their General Plans. The Government Code specifies that specific plans may be adopted either by resolution or by ordinance and that the specific plan is required to be consistent with the General Plan. The Government Code sets forth the minimum requirements and review procedures for specific plans including provision of a land use plan, infrastructure and public services plan, criteria and standards for development, and implementation measures. The Government Code also states that specific plans may address any other subjects which, in the judgment of the city, are necessary or desirable for implementation of the General Plan.



Exhibit 3
Project Setting

The City of Upland will adopt a General Plan Amendment (GPA) changing the General Plan land use designation for the Project Site to Single Family Residential (7-10 dwelling units per acre) and change of zoning for the Project Site to Specific Plan (SP). The Wyeth Cove Specific Plan, when adopted, will provide for development regulations and development standards to implement the Single Family Residential General Plan land use designation and SP zoning district.

The Wyeth Cove Specific Plan is designed to meet the requirements of the State of California Government Code and the City of Upland General Plan, as amended. The City of Upland will adopt the Wyeth Cove Specific Plan by ordinance establishing the zoning regulations for the development of the Project Site. The requirements of the Wyeth Cove Specific Plan shall take precedence over the City of Upland Zoning Code. In instances where the Specific Plan is silent, the City of Upland Zoning Code shall prevail.

1.6 DEVELOPMENT APPROVAL COMPONENTS

The adoption of the Wyeth Cove Specific Plan is the first step in a process leading to the development of the Project Site. The components of the development approval process for the Project Site are discussed below.

1.6.1 General Plan Amendment

Concurrently with the adoption of the Wyeth Cove Specific Plan, the City will adopt a General Plan Amendment (GPA) changing the land use designation for the Project Site from “Light Industrial” to “Single Family Residential – 7-10 du/acre.” The GPA will permit the development of a residential community on the Project Site subject to approval by the City of a Specific Plan requiring the comprehensive planning of the Project Site.

1.6.2 Specific Plan

The Wyeth Cove Specific Plan, when adopted, will serve as a legal document to implement the General Plan, as amended, and will serve as the zoning for the Project Site. The Specific Plan will serve as a “blueprint” for development by establishing the distribution of land use and the criteria for land use development as set forth herein. The Specific Plan establishes the development requirements and guidelines to be applied to development within the Project Site.

1.6.3 Subdivision Maps

A Tentative Tract Map for the development of the residential community will be reviewed and approved by the City concurrently with the approval of the Wyeth Cove Specific Plan. The Tentative Tract Map will be prepared pursuant to the applicable provisions of the State of California Subdivision Map Act (Government Code Section 66410 through 66499), the City of Upland Subdivision Ordinance and consistent with the applicable provisions contained within the Wyeth Cove Specific Plan.

1.6.4 Development Plan Review

Pursuant to the approval of the Wyeth Cove Specific Plan, the City will conduct a development plan review for the residential community in accordance with provisions of the City of Upland Zoning Code.

1.7 RELATIONSHIP OF THE SPECIFIC PLAN TO THE CITY OF UPLAND GENERAL PLAN

California Government Code (Title 7, Division 1, Chapter 3, Article 8, Section 65450-65457) permits the adoption and administration of a specific plan as an implementation tool for elements contained in the local general plan. Specific plans must demonstrate consistency in regulations, guidelines, and programs with the goals and policies set forth in the general plan.

The City of Upland's General Plan sets forth the following topics to address the state mandated general plan elements:

- Land Use
- Circulation
- Housing
- Open Space/Conservation
- Scenic Highways/Safety
- Noise

As part of the Wyeth Cove Specific Plan, a General Plan Amendment will be adopted for the Project Site changing the General Plan land use designation from "Light Industrial" to "Single Family Residential/ 7-10 dwelling units per acre." The Wyeth Cove Specific Plan will be consistent with applicable goals, objectives, and policies of the General Plan, as amended, pertaining to the planned development as described in Section 6, "General Plan Consistency."

1.8 CEQA COMPLIANCE

A Mitigated Negative Declaration (MND) has been prepared by the City of Upland for the Wyeth Cove Specific Plan in accordance with the California Environmental Quality Act (CEQA) and City requirements to provide a detailed analysis of potential environmental impacts associated with the development of the Project Site. The MND prepared for the Specific Plan addresses the potential impacts associated with the project at a "project level" and includes recommended mitigation measures to reduce potential significant impacts to a less than significant level. The MND has been prepared to fulfill the requirement for environmental determinations for all subsequent discretionary and ministerial applications for development within the Wyeth Cove Specific Plan.

1.9 SEVERABILITY

If any regulation, condition, program, or portion of the Wyeth Cove Specific Plan is held invalid or unenforceable, such portions shall be deemed separate, distinct, and independent provisions and the invalidity of such portions or provisions shall not affect the validity and enforceability of the remaining portions and provisions therein.

SECTION 2.
PLAN ELEMENTS

The Wyeth Cove Specific Plan is a proposal for development of a planned residential community within an open space setting on approximately 4.3 gross acres of land in the City of Upland. This section will describe the land use proposed for the Project Site and the plan to provide infrastructure and public services to the Project Site.

2.1 LAND USE

The proposed development of the Project Site is depicted in Exhibit 4, “Land Use Plan” and is further described in Table 1, “Statistical Summary.” The project is designed to respond to both on-site and off-site conditions, as well as anticipated market conditions. The Wyeth Cove Specific Plan will provide quality residential opportunities within a planned community setting. The Wyeth Cove Specific Plan offers a strong identity for residents and visitors through a comprehensive community landscape theme, signage, quality architecture, and a network of streets and sidewalks unifying the community.

SITE SUMMARY			
Land Use	Acres	DUs	Gross Density
Residential ¹	3.40	40	
Park	.30		
Streets	.60		
Total	4.30	40	9.3du/acre

Note: ¹ Includes motorcourt area

Table 1
Benson Avenue Specific Plan
Statistical Summary

2.1.1 Residential Use

Residential land uses within the Project Site will provide for the development of up to 40 single family residential dwelling units at a density of 9.3 dwelling units per gross acre. Residential land use will be designed in a courtyard cluster configuration of between 4-6 dwelling units per cluster. The typical courtyard cluster planned for the Wyeth Cove Specific Plan is illustrated on Exhibit 5, “Conceptual Courtyard Plan.” Garages are accessed from a common motorcourt allowing for garages to be turned away from the street so that architecture is the predominant streetscene along Benson Avenue and 15th Street.

2.1.1.1 Residential Design

The architecture of residences within the Project Site will be designed to focus on human-scale details to enhance the pedestrian friendly character of the residential neighborhoods. Such features may include the use of front porches, railings, enhanced entries, a mix of materials and textures, and authentic detailing on elements such as windows and doors, columns, balconies, and lighting.

2.1.1.2 Community Design

The Wyeth Cove Specific Plan offers a strong identity for residents and visitors through a unifying approach to site design, architecture, and landscape design elements. Landscaped streets and sidewalks linking residences promote pedestrian mobility and encourage opportunities for neighbors to meet and greet each other within the community.

2.1.2 Open Space and
Recreational Use

Passive open space will be provided with the development of the Project Site to include an approximately .30 acre park improved with picnic tables, barbeque facilities, a tot lot, benches, and a gazebo. This park will provide residents with an inviting

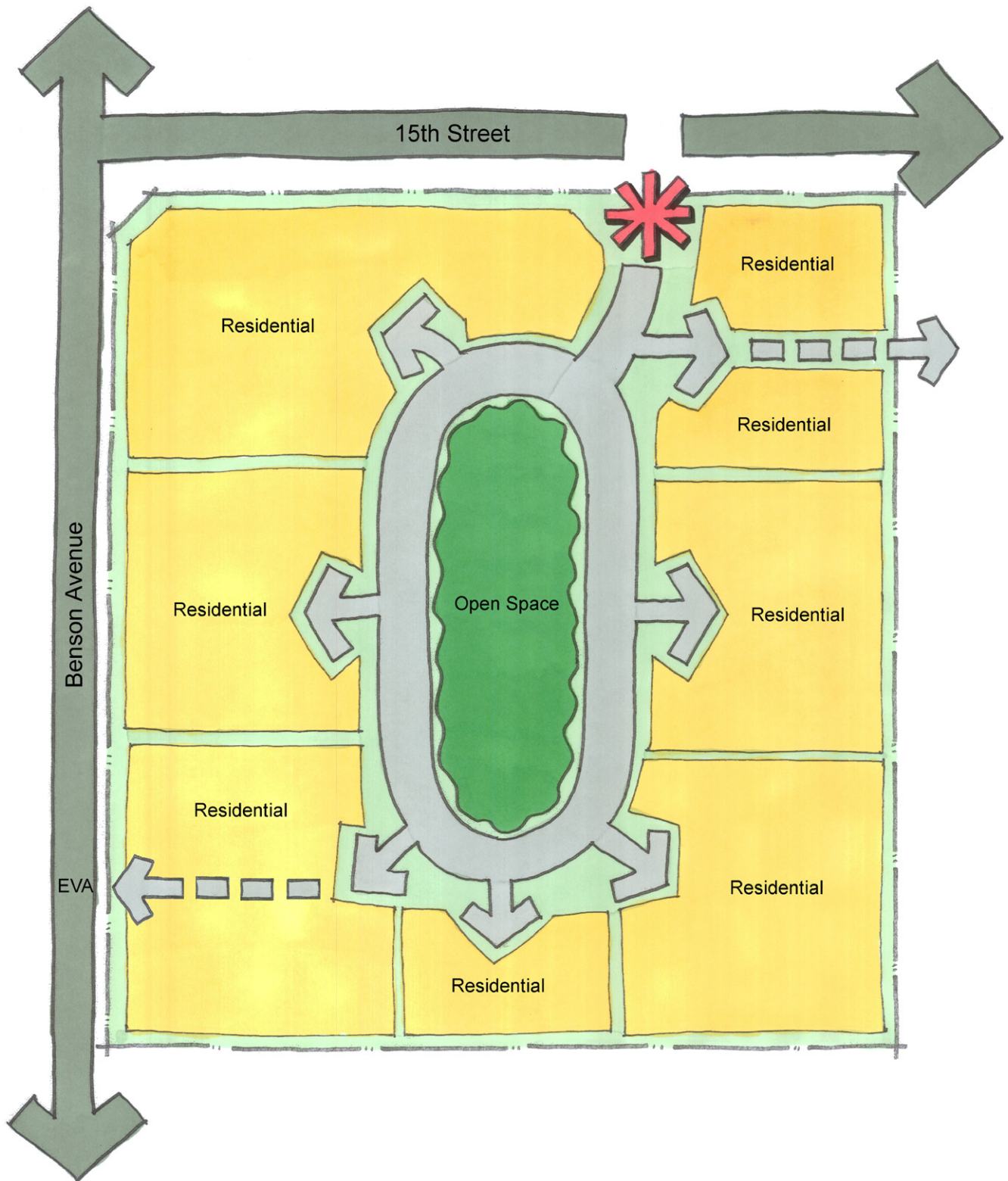


Exhibit 4
Land Use Plan



Exhibit 5
Conceptual Courtyard Plan

environment for informal gathering and a place to meet and greet each other as part of leisurely walks through the community.

2.1.3 Pedestrian Access

The Wyeth Cove Specific Plan includes the development of a landscaped sidewalk system providing pedestrian connectivity and a unifying element with the community. Pedestrian accessibility will be provided from the Project Site to the adjacent public park located to the east of the Project Site and to the public recreational facilities located north of the Project Site via a network of sidewalks constructed within the right of way of Benson Avenue and 15th Street and the in-tract street right of way serving the community.

2.2 INFRASTRUCTURE AND PUBLIC SERVICES

The infrastructure, utilities, and public services to be provided as part of the development of the Wyeth Cove Specific Plan are discussed in this section.

2.2.1 Streets

Vehicular access to the Project Site will be provided by Benson Avenue and 15th Street with a project entry located along 15th Street and an emergency vehicle access point located along Benson Avenue. The circulation system serving the Wyeth Cove Specific Plan is illustrated on Exhibit 6, “Master Plan of Circulation.” Ultimate curb to curb improved right of way for Benson Avenue will be 88 feet with 64 feet of paved travel area and a 5 foot sidewalk separated by a 7 foot landscaped parkway on each side of the street. As part of the development of the Project Site, the developer will install sidewalk and parkway improvements along that portion of Benson Avenue adjacent to the Project Site.

Ultimate curb to curb improved right of way for 15th Street will be 66 feet with 40 feet of paved travel area and a 5 foot sidewalk separated from the street by an 8 foot landscaped parkway. As part of the development of the Project Site, the developer will install sidewalk and parkway improvements along the portion of 15th Street adjacent to the Project Site.

Right of way improvements to Benson Avenue and 15th Street required as part of the development of the project are illustrated on Exhibit 7, “Roadway Improvements.”

Vehicular circulation within the Project Site is provided by means of a private one way loop street with a total right of way of 46 feet with 36 feet of paved travel area and a five foot sidewalk on each side of the street at the project entrance narrowing to a 28 foot wide one way street within the Project Site. Private street improvements for the Project Site are illustrated on Exhibit 8 “Private Loop Road” and Exhibit 9, “Private Street Sections.”

2.2.2 Water

The City of Upland Water Department provides water service to the City of Upland. Water service to the Project Site will be provided via a new 8 inch water main to be constructed in Benson Avenue as part of project development and connecting to an existing 8 inch water main located in 15th Street. The development of the project will include installation of on-site water mains adequate to provide for the domestic and fire protection requirements of the project. Exhibit 10, “Water Master Plan” illustrates the existing and proposed water system to serve the Project Site.

2.2.3 Sanitary Sewer

Sewer service to the Project Site will be provided by the City of Upland. Off-site sewer facilities available to serve the Project Site include an existing 8 inch sewer main located in Benson Avenue,

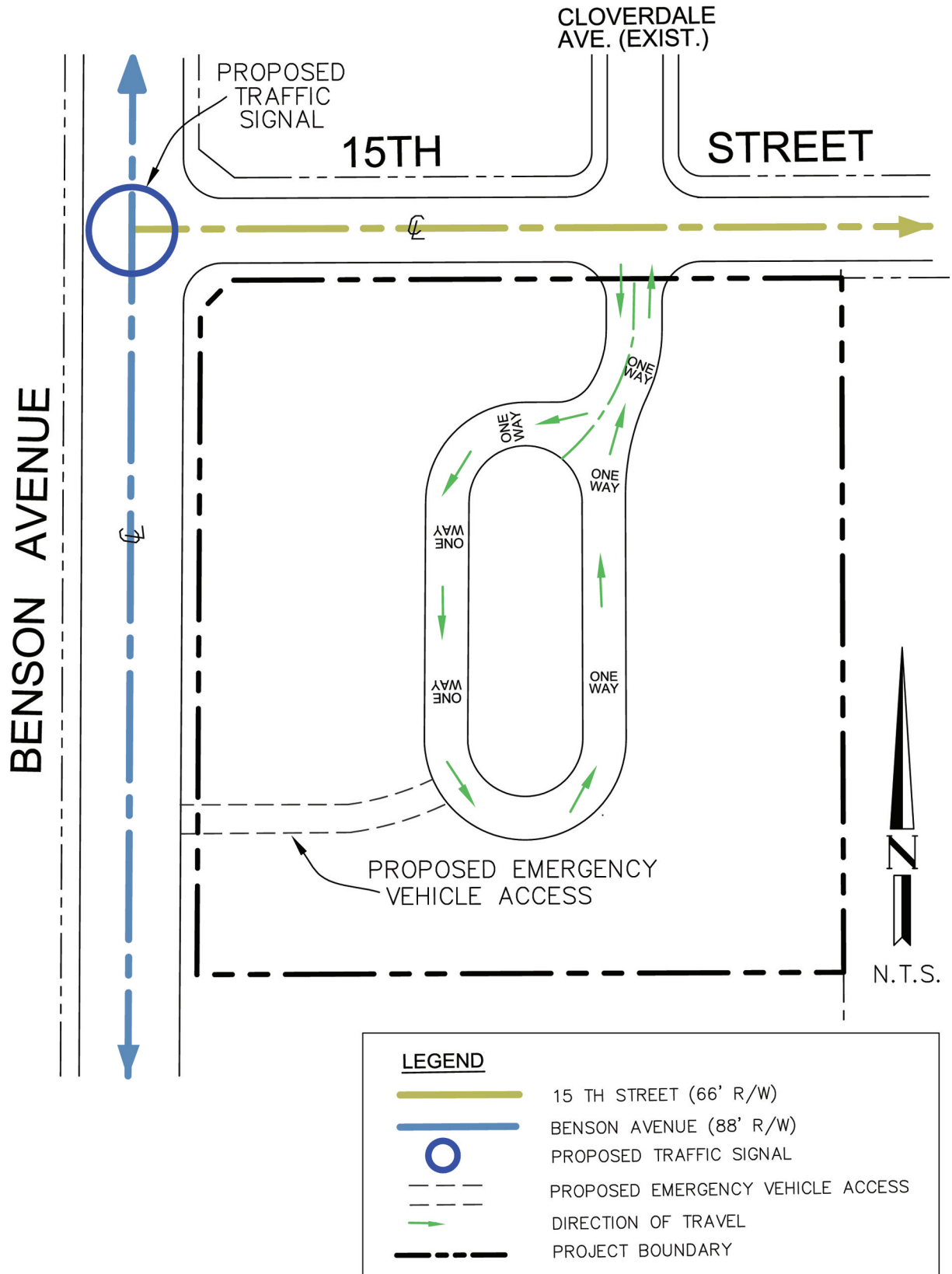
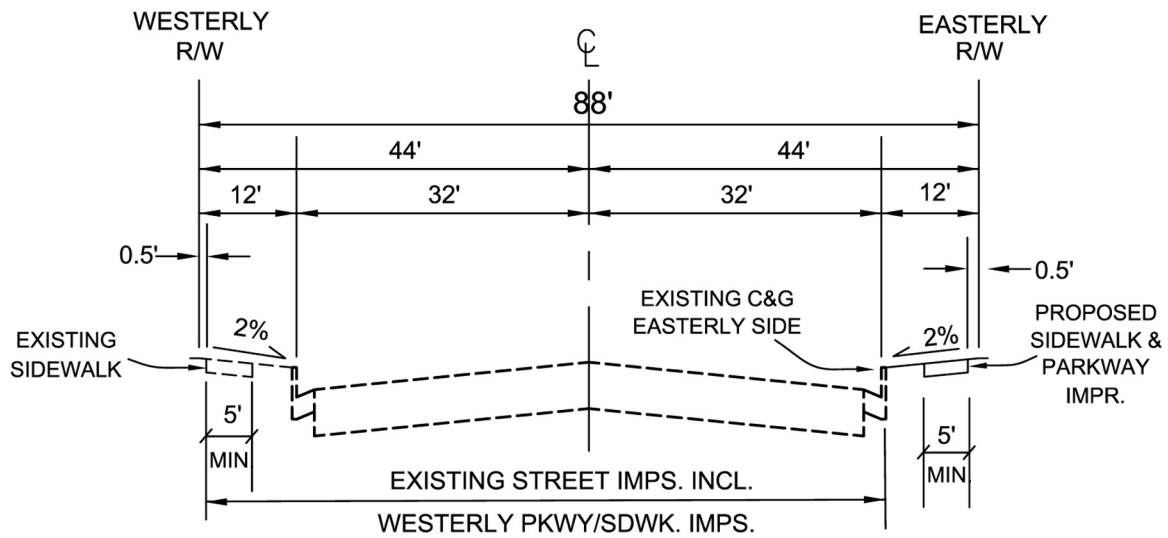
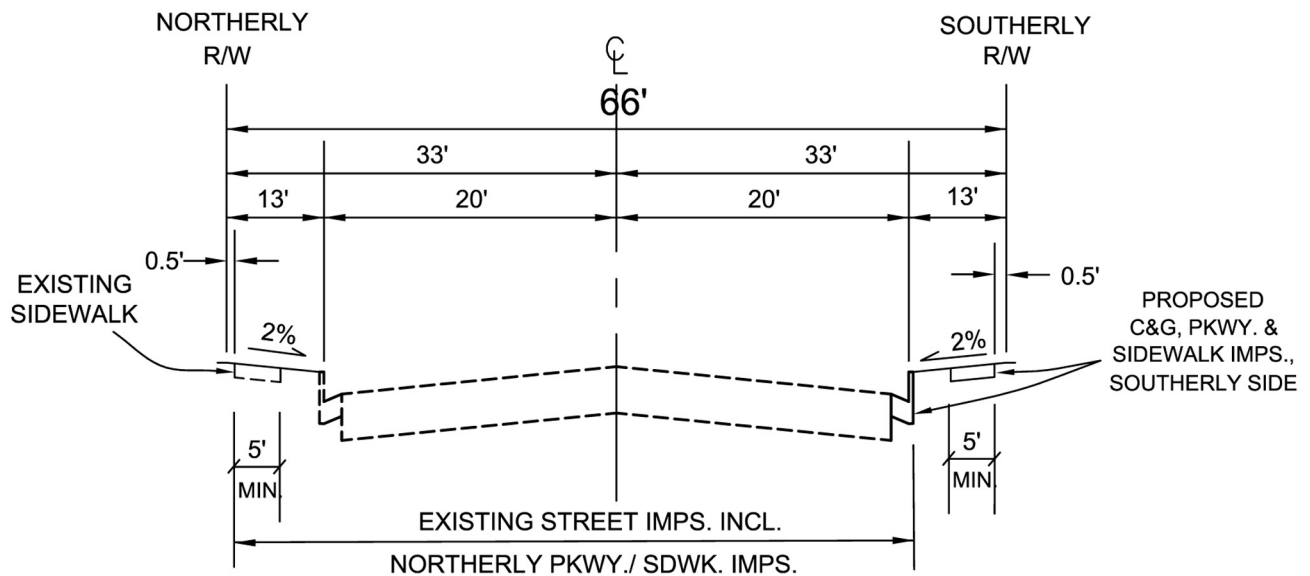


Exhibit 6
Master Plan of Circulation



Benson Avenue Cross Section



15th Street Cross Section

**Exhibit 7
Roadway Improvements**

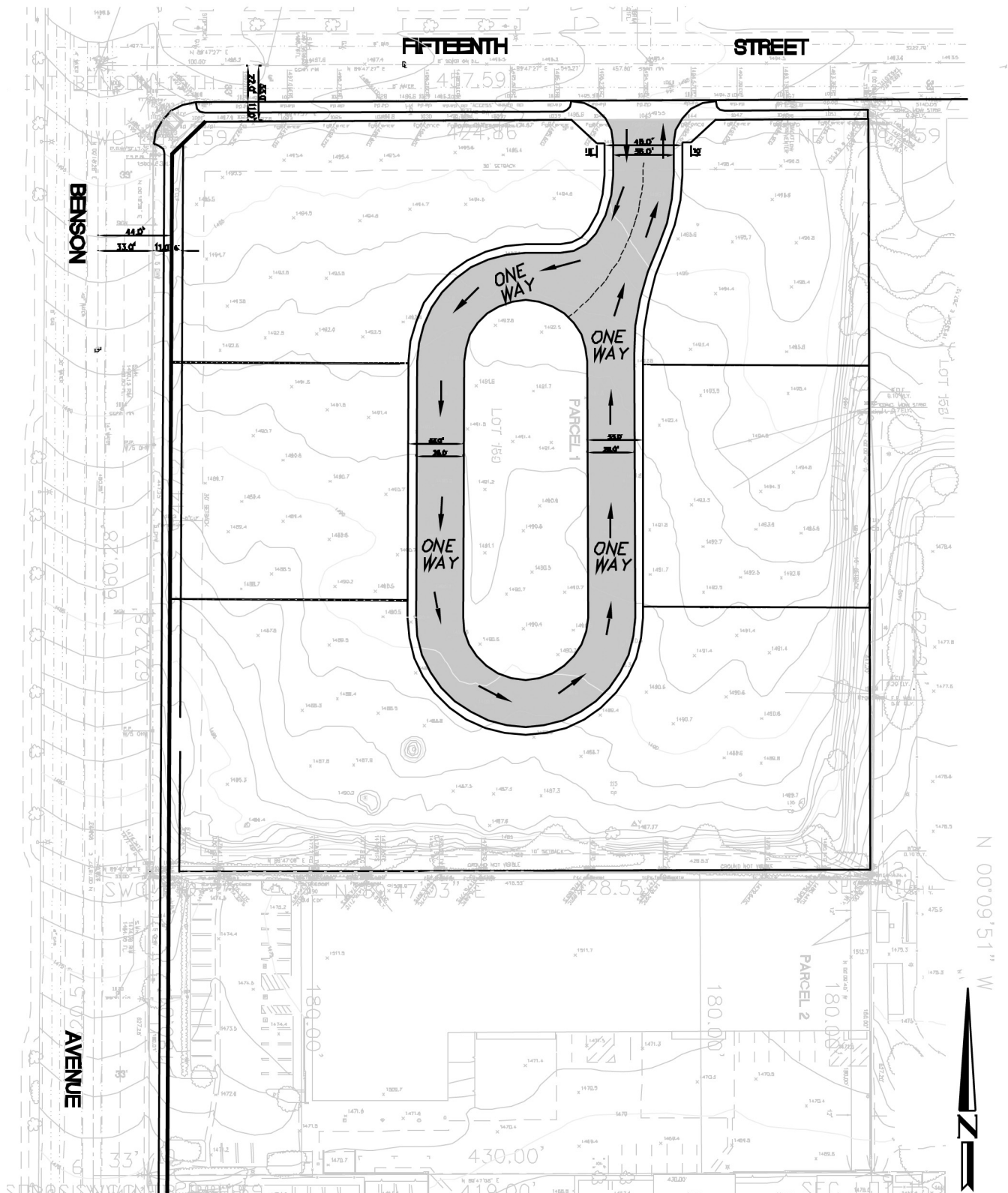
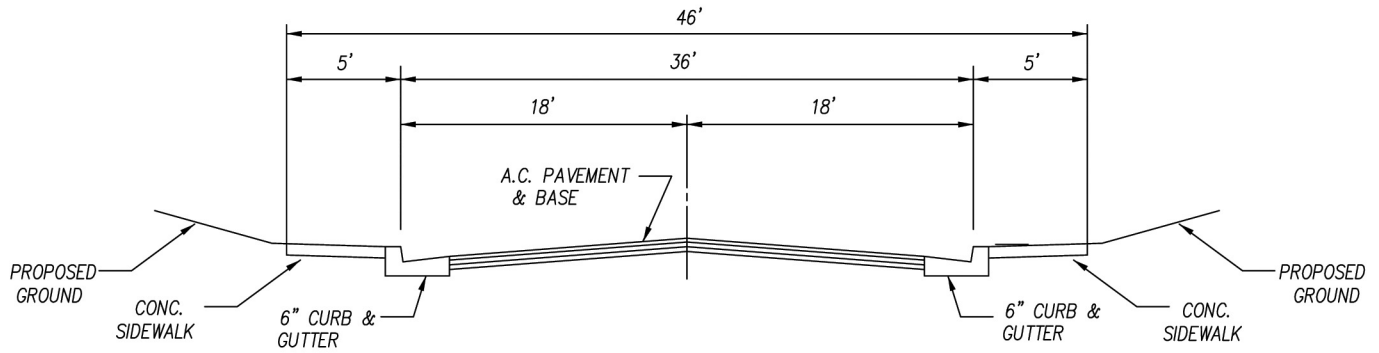
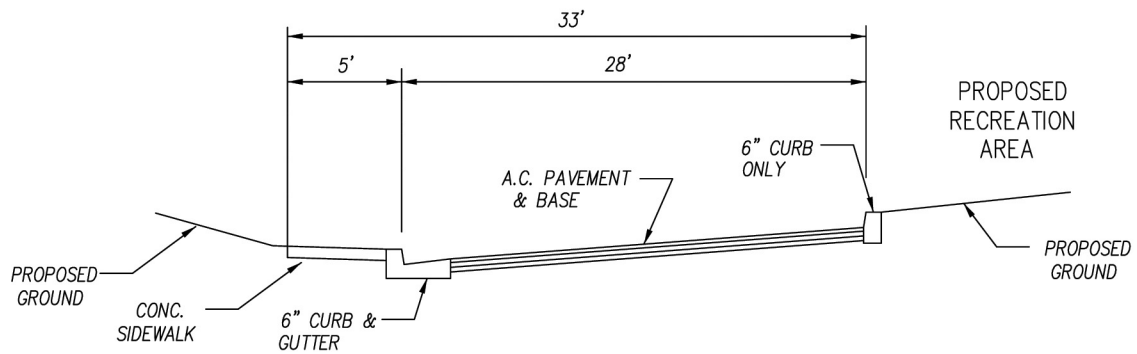


Exhibit 8
Private Loop Road



Private Entrance Street Cross Section



Private Street Cross Section

**Exhibit 9
Private Street Sections**

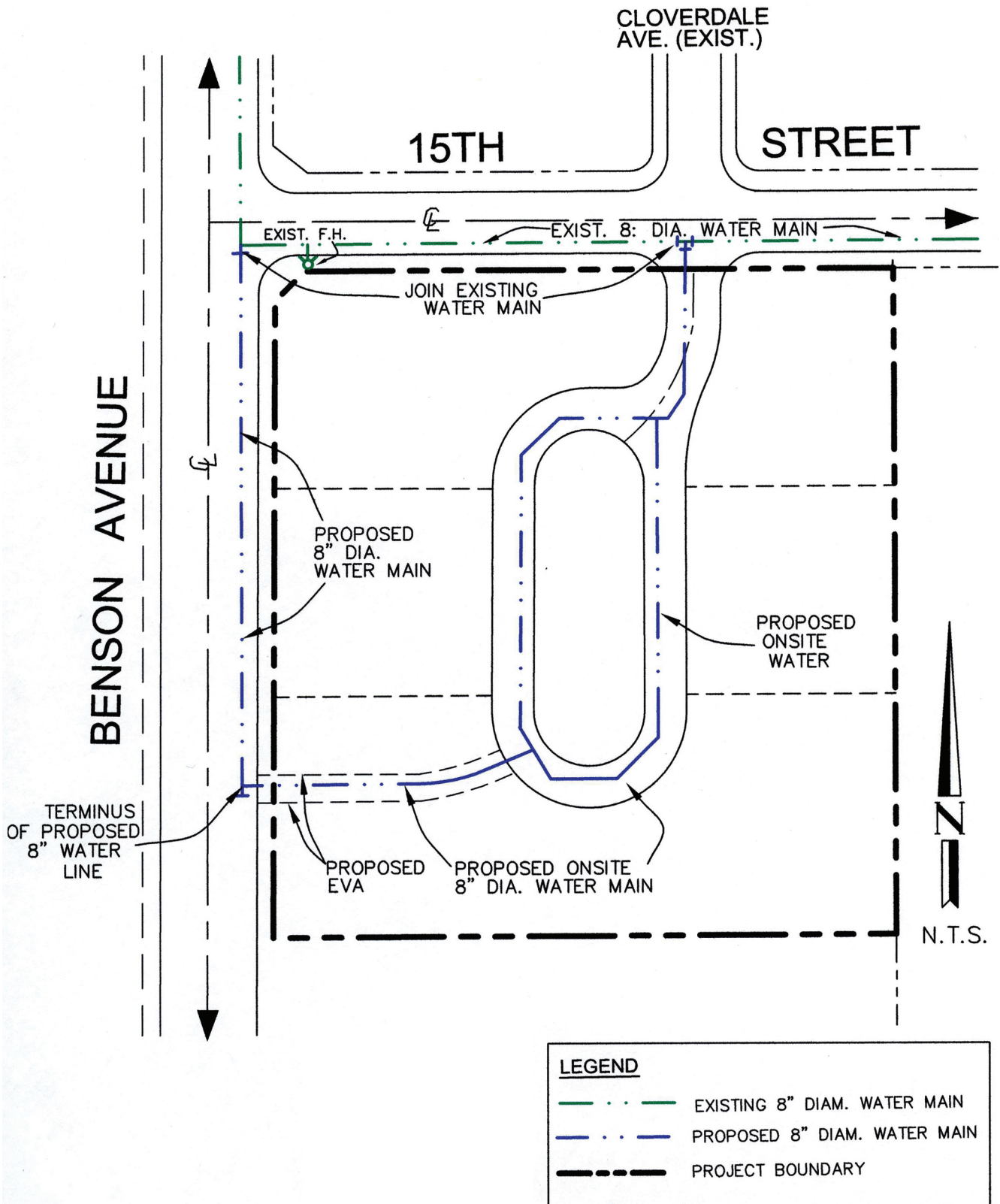


Exhibit 10
Water Master Plan

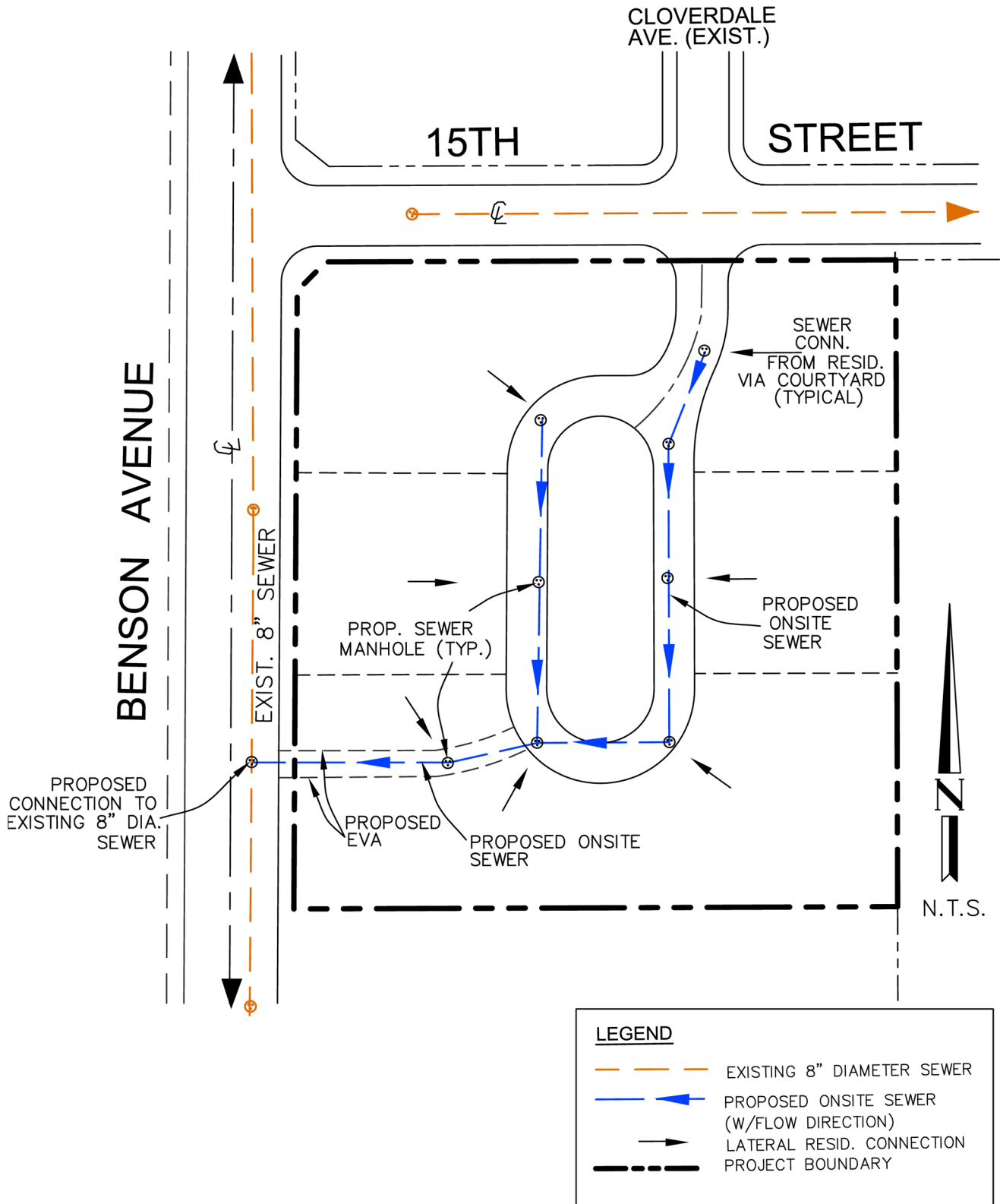


Exhibit 11
Sewer Master Plan

adjacent to the Project Site. Development of the Project Site will include installation of 4 inch lateral sewer pipes on-site as well as an 8 inch sewer main. Exhibit 11, "Sewer Master Plan," illustrates the existing and planned sewer system to serve the Project Site.

2.2.4 Storm Drain

The existing drainage pattern for the Project Site drains in a south/southwesterly direction towards Benson Avenue. The current proposed drainage plan includes a privately maintained on-site storm drain system to collect surface drainage and direct flows to the southwest corner of the Project Site. Runoff would then be discharged to Benson Avenue via a parkway drain following the existing drainage pattern. A final storm drain plan for the project will be reviewed and approved by the City of Upland Building, Planning and Engineering Departments prior to the issuance of building permits. Exhibit 12, "Storm Drain Master Plan," illustrates the existing and proposed storm drain system to serve the Project Site.

2.3 PUBLIC UTILITIES

2.3.1 Telephone

Verizon will provide telephone service to the Project Site. Proposed on-site facilities will be placed underground.

2.3.2 Natural Gas

The Southern California Gas Company (Gas Company) will provide natural gas to the Project Site. Gas mains will be installed to the project site by the Gas Company as necessary.

2.3.3 Electricity

Southern California Edison will provide electricity to the Project Site from existing facilities in the vicinity of the Project Site. Proposed new facilities to serve the project will be owned and operated by Southern California Edison and located underground.

2.3.4 Solid Waste

The City of Upland contracts with Burtec Waste Industries (BWI), a private refuse hauler, to provide solid waste collection services for the City. BWI will service the Project Site.

2.3.5 Schools

School facilities will be provided by the Upland Unified School District. The project will be required to pay school fees in accordance with Government Code Section 65995 of the State of California.

2.4 GRADING CONCEPT

The existing ground slopes gradually in a south to southwesterly direction. Existing site topography is illustrated in Exhibit 13, "Existing Topography." The grading operation for the Project Site will generally consist of clearing, grubbing, and moving of surface soils to construct building pads and driveways. Grading within the Project Site will attempt to balance cut/fills for the site.

Grading plans for the Project Site will be reviewed and approved by the City of Upland Building, Planning, and Engineering Departments prior to the issuance of grading permits. All grading plans and activities will conform to the City grading ordinance and dust and erosion control requirements.

The conceptual grading plan for the Project Site is illustrated in Exhibit 14, "Conceptual Grading Plan."

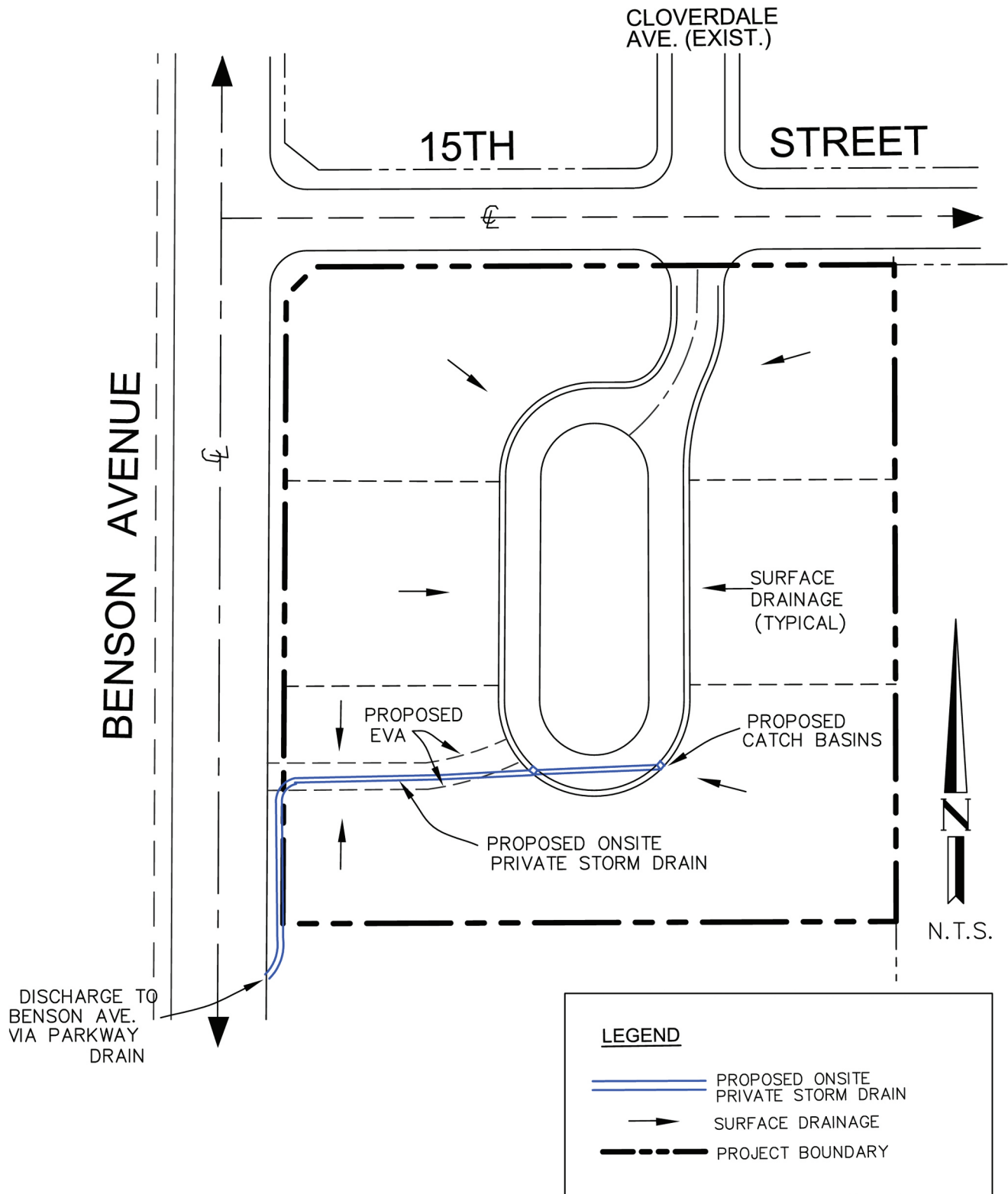


Exhibit 12
Storm Drain Master Plan

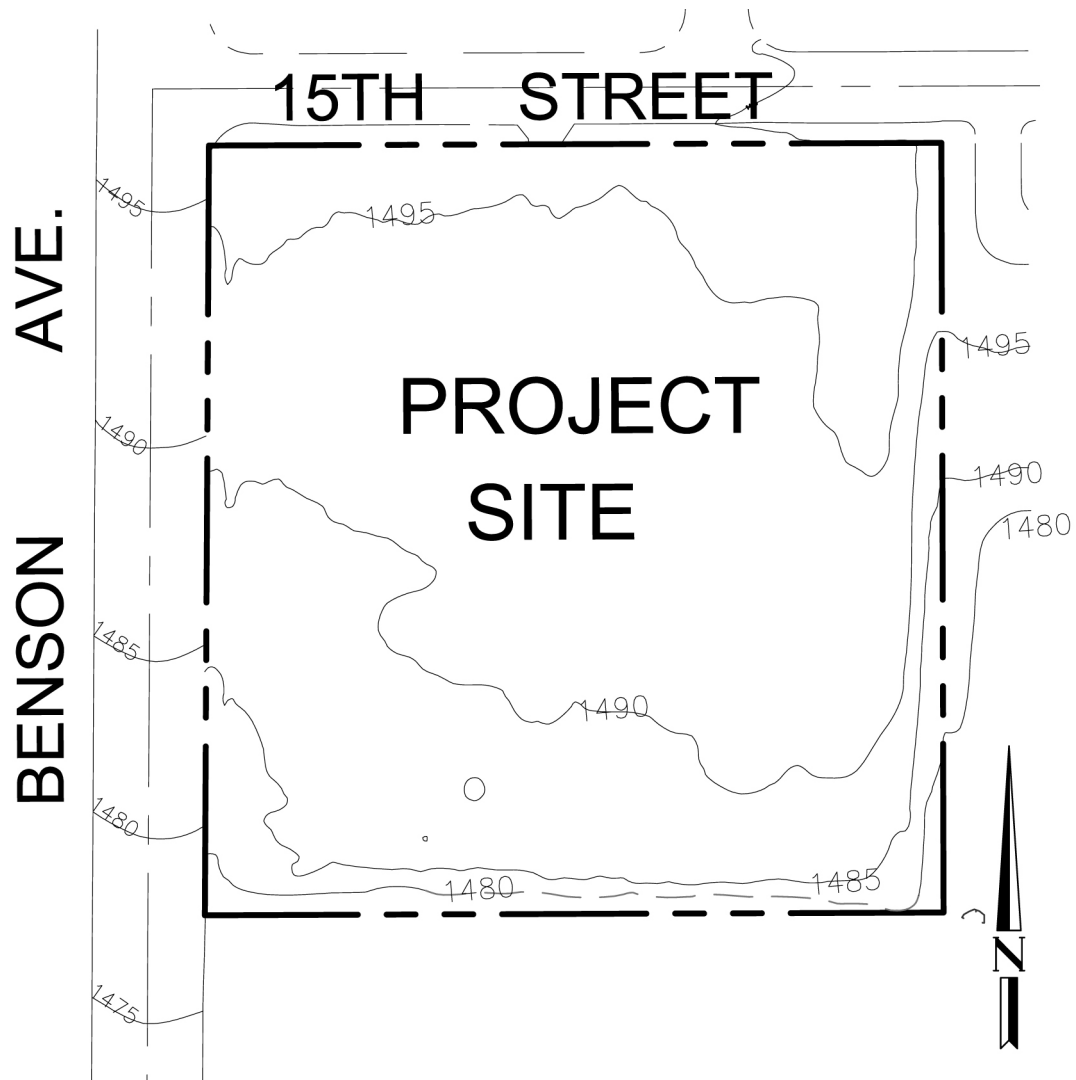


Exhibit 13
Existing Topography

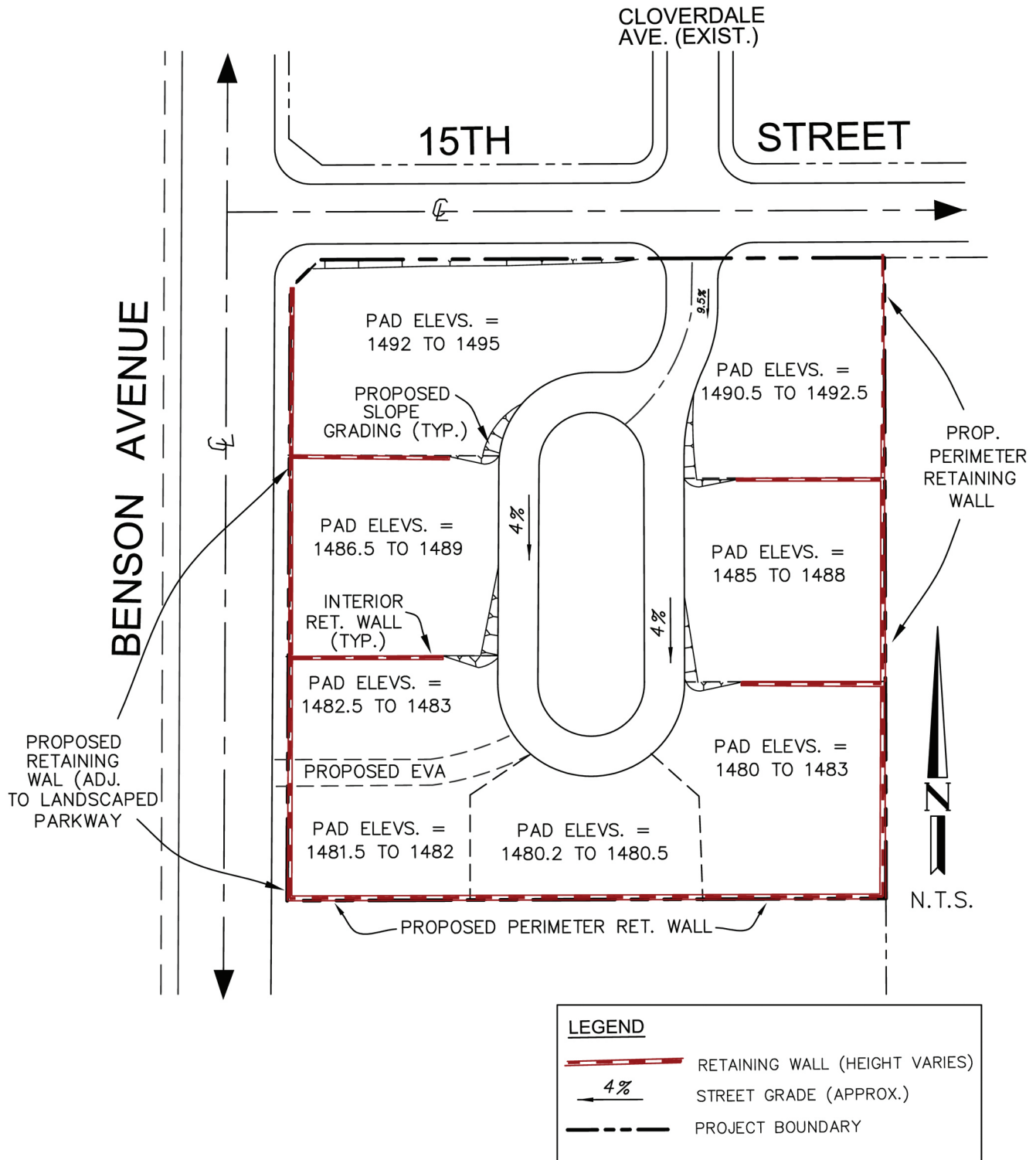


Exhibit 14
Conceptual Grading Plan

SECTION 3. DEVELOPMENT REGULATIONS

3.1 INTRODUCTION

The provisions contained in this section will regulate design and development within the Wyeth Cove Specific Plan area. The regulations contained herein provide for the development of residential uses and landscaping.

3.2 DEFINITION OF TERMS

The meaning and construction of words, phrases, titles, and terms shall be the same as provided in the City of Upland Zoning Code Section 9402, "Definitions," unless otherwise specifically provided herein.

3.3 APPLICABILITY

The development regulations contained herein provide specific standards for land use development within the Wyeth Cove Specific Plan. Regulations address residential land uses and landscaping. Application of the following regulations is intended to ensure the highest quality of development and protect the public health, safety, and general welfare. The adoption of the Wyeth Cove Specific Plan by ordinance, supersedes otherwise applicable City of Upland zoning regulations unless stated herein to the contrary. Whenever the provisions and development standards contained herein conflict with those contained in the City of Upland Zoning Code, the provisions of the Wyeth Cove Specific Plan shall take precedence. Where the Specific Plan is silent, City codes shall apply. These regulations shall reinforce specific site planning, architectural design, and landscape design concepts contained in Section 4, "Design Guidelines" of the Specific Plan.

3.4 ADMINISTRATION

The Wyeth Cove Specific Plan is adopted by ordinance and will serve as the implementation tool for the General Plan, as amended, as well as the zoning for the Project Site. The Wyeth Cove Specific Plan addresses general provisions, permitted uses, development standards, and design guidelines.

3.5 METHODS AND INTERPRETATION

Development within the Wyeth Cove Specific Plan shall be implemented through the approval by the City of Upland of a tentative tract map, site design and architectural approvals. The administration process described below provides for the mechanisms for review and approval of development projects within the Project Site consistent with the Specific Plan objectives.

3.6 GENERAL SITE DEVELOPMENT CRITERIA

The following general site development criteria shall apply to land development proposed in the Wyeth Cove Specific Plan.

1. Gross Acres - Except as otherwise indicated, gross acres for all development areas are measured to the right of way of dedicated public streets.
2. Grading - Development within the Project Site shall utilize grading techniques as approved by the City of Upland. Grading concepts shall respond to the design guidelines included in the Specific Plan which guide the development of land use toward the goal of providing for a livable community with streets and entries designed for walking and resident interaction.
3. Utilities - All new public utility distribution lines of less than 66 kV shall be subsurface throughout the planned community.

4. Density - The Wyeth Cove Specific Plan assigns a total permitted density within the specific plan area of 9.3 dwelling units per gross acre.
5. Maximum Number of Dwelling Units - Development of up to 40 residential dwelling units is permitted within the Wyeth Cove Specific Plan.
6. Streets – Streets within the Project Site shall be private.

3.7 RESIDENTIAL DEVELOPMENT STANDARDS

3.7.1 General

This category includes the development of residential single family detached dwelling units. The purpose of these residential development standards is to establish the minimum criteria for the development of the residential dwelling units specified within Specific Plan.

3.7.2 Permitted Uses

1. Single family detached dwellings.
2. Public or private parks; clubhouse buildings, open space.
3. Accessory uses to include the following:
 - Garages.
 - Home occupations.
 - Swimming pools, spas, sports courts, and other similar outdoor recreational amenities.
 - Patios and patio covers.
 - Storage, garden structures, cabanas, and greenhouses.
 - Monument signage.

Section 3. DEVELOPMENT REGULATIONS

- Temporary uses such as model home and subdivision sales trailers; temporary construction parking, offices, and facilities; real estate signs, signage indicating future development and directional signage in accordance with the City's Development Code.
- Childcare/day care facilities (serving up to 7 children), in accordance with the City's Development Code.

3.7.3 Conditionally Permitted Uses

1. Childcare facilities/Day care facilities (serving 8 to 14 children).

3.7.4 Prohibited Uses

1. Prohibited uses shall be those listed in Section 9430.060 of the City of Upland Zoning Code.

3.7.5 Special Uses

1. Free Standing Satellite Dishes/Antennas:
 - Free Standing Satellite Dishes and/or Antennas are permitted pursuant to Section 9414 of the City of Upland Zoning Code.

LOT CRITERIA	
Min. Lot Area	
• Min. Cluster Width at Front PL facing Street	139'
• Min. Cluster Depth	133'
• Min. Living Area for Residential Building	1,700 sf
MINIMUM SETBACKS ⁽¹⁾	
Front Setbacks	
• Living Area from Back of Sidewalk	10'
Side Setbacks	
• Living Area from Street	10'
• Living Area from Interior Property Line of Cluster	4 ft
Rear Setbacks	
• Living Area from Cluster Property Line	10'
Garage Separation	
• From Side to Side	10'
• From Front to Front	30'
LOT COVERAGE	
	55%
Minimum Building Separation	
	8 ft
Maximum Building Height	
• Residential Structures	35 ft
• Garage Structures	15 ft
FENCES AND WALLS	
Maximum Wall Height ⁽²⁾	6 ft
Maximum Height of Retaining Walls	4.5 ft
PARKING	
Min. Number of Parking Spaces Required	2 garage spaces and .5 guest spaces per dwelling unit

Notes:

1. Architectural projections may project a maximum of 3 feet into required front, rear or side setback areas; however, in no case shall such projection be closer than 3 feet to any property line. An architectural projection is defined as an element that articulates the building elevation such as eaves, window and door pop-out surrounds, media niches, bay windows, pot shelves, chimneys, enhanced window sills, shutter details, window trim, balconies and entry gates, and other similar elements.
2. Combination perimeter and retaining walls may exceed 6 feet in height up to a 10.5 foot maximum height.

Table 2
Residential Site Development Standards

3.8 LANDSCAPE STANDARDS

3.8.1 General Provisions

1. All landscape plans, streetscape plans and graphic designs with regard to the identity of the Wyeth Cove Specific Plan, or entry monummentation shall conform to the design guidelines as set forth herein and shall be subject to review and approval by the City of Upland.

3.8.2 Landscape Standards

1. Landscaping within the Project Site shall be provided in accordance with the Conceptual Landscape Plan and Planting Plan utilizing plant materials specified on Table 3, "Suggested Plant List" included in Section 4, "Design Guidelines" established for the Wyeth Cove Specific Plan.
2. Boundary landscaping will be required and generally be placed along the entire property line.
3. Landscaping and irrigation systems, within the public rights of way of the Project Site, shall be installed as part of project development.
4. Non-toxic vegetation shall be utilized adjacent to all public open space areas.

3.8.2.1. Walls and Fencing

1. Freestanding perimeter walls and view fencing shall be provided within and at the perimeter of the Project Site. Such walls and fencing shall be installed at locations and in a manner consistent with the provisions for walls and fences included in Section 4, "Design Guidelines." Such walls and fences will be constructed concurrently with the construction of improvements required for development of the project.
2. Interior walls and fencing as discussed in Section 4, "Design Guidelines" shall not exceed six feet in height from finished grade. A combination retaining and perimeter wall may be up to ten and one-half feet in height as approved by the City of Upland. Perimeter walls

shall be constructed of either masonry or other permanent, durable, low maintenance material. Fencing utilized within the Project Site shall be constructed of durable materials with a wood-like appearance and will be subject to approval by the City.

3. Walls and fencing within the front yard setback area shall not exceed three feet in height. Walls shall be of masonry construction or other permanent low maintenance materials. Front yard fences may be constructed of any durable materials with a wood like appearance, subject to approval by the City. View fencing may be of a decorative wrought iron or other durable material approved by the City.
4. All perimeter wall and fence materials throughout the Project Site will be of uniform manufacture with colors specified for the overall design theme.

3.9 SIGNAGE

Signs within the Wyeth Cove Specific Plan shall comply with the provisions of Section 9504 of the City of Upland Zoning Code.

3.10 LIGHTING

Project Site lighting shall be installed in accordance with the following standards and in conformance with the City's requirements for street lighting.

1. Glare
 - ♦ No glare incidental to any use shall be visible beyond any boundary line of the Project Site.
2. Street Lighting
 - ♦ Street lighting in the Specific Plan area will require lighting levels and uniformity ratios meeting the City of Upland specifications.
3. Walkway Lighting
 - ♦ Low "pedestrian" level lighting shall be installed at selected locations along walkways, the park, and open space areas.
 - ♦ Bollard lighting is recommended along sidewalks.
4. Fixtures shall be uniform and unobtrusive. Shielded fixtures are required to prevent up-lighting and to shield lighting source from adjacent residential areas.

SECTION 4. RESIDENTIAL DESIGN GUIDELINES

4.1 PHILOSOPHY

The purpose of these design guidelines is to promote aesthetic quality along with community diversity. By showing examples of selected architectural styles and referencing the range of detailing within the styles, a historic context or style of architecture can be documented. This permits high quality architectural design to occur, while still considering current home building needs.

Two separate and distinct architectural styles have been selected for the Wyeth Cove Specific Plan. Each style is presented on the following pages in the form of photographic images that capture the spirit and essence of each style along with a brief written synopsis narrating key style components that should be included, as well as architectural elevation drawings that begin to express the anticipated architectural character for the community. Other architectural styles may be approved for the Wyeth Cove Specific Plan area. Additional styles must be approved by the City of Upland. Other styles should exhibit compatibility to the six styles identified below.

4.2 ARCHITECTURAL INTENT

The structures in the Wyeth Cove Specific Plan property shall be rich, traditional styles that complement the site, as well as reinforce the diversity of the community street scene. In developing the architectural character for the community, the following styles may be used.

Approved Styles:

1. Traditional
2. Cottage

4.3 RESIDENTIAL DESIGN STANDARDS: GENERAL STANDARDS APPLICABLE TO BOTH STYLES

4.3.1 Roof

- Two-story masses to be softened by lower roof forms when possible.
- Roof lines will vary in terms of framing pitches, massing, color and roof selection.

4.3.2 Materials

Elevation design will include the following:

- a. Roof
 - Concrete shake or slate-look.
 - Clay or concrete S-tile or barrel tile.
- b. Exterior Walls
 - Wood and shingle siding.
 - Stucco.
 - Stone, brick and wood siding can be used as wall materials or accent.
- c. Doors
 - Stained or painted wood.
 - Metal and resin composite that resembles wood.
 - Authentic styles to structure.
- e. Windows
 - Vinyl or aluminum.
- f. Accent Materials
 - Masonry trim: Pre-cast stone, natural stone, simulated wood veneer and masonry veneers made of synthetic materials, smooth cut river rock and brick used as a base and/or bearing appearance.
 - Wood trim, simulated wood veneer and masonry veneers made of synthetic materials: Stained or painted at walls, chimneys, gates, doors, windows, eaves, balconies, outlookers and pickets. Significant in scale and appropriate to building character.

- Ironwork: Ornamental metalwork at gates, window grilles, balcony rails and fencing. Significant in scale and shape while detailed authentically.

4.3.3 Colors

a. Roof and Materials

- Natural colors to emulate the appropriate historic-authentic style (i.e., slate, wood shake, clay tile).

b. Walls

- Stronger hues of earth tones, siennas, and greens.
- As a contrast to the above darker palette lighter values are also acceptable for primary wall surfaces when darker colors are used for accent and trim areas.
- Lighter pastels in yellows, blues and pinks for selected styles.

c. Accents

- Traditional and historic colors that complement the palette of the house.

4.3.4 Landscaping

Use of stone, masonry, and wood should complement the materials used in the homes.

4.4 TRADITIONAL STYLE

The American Traditional style is one that acknowledges our nation's architectural heritage originating primarily from the New England states and spreading throughout the West. The construction material of choice is almost always wood, due historically to Colonial America's ready supply. The use of brick is also common. There is a sense of balance and symmetry to the door and windows on the front facades. Windows are mostly vertical in their proportions and they are often accompanied with shutters. Roofs are simple, with a steeper pitch, and may include the gambrel style. The gam-

brel roof style is a ridged roof, with two slopes on each side, the lower slope having the steeper pitch. Dormer windows are common, and other formal elements are often included such as columns and pediments. Exhibit 15, "Traditional Features" and Exhibit 16, "Traditional Style," illustrate the American "Traditional Style" of architecture.

By American Traditional implies a group of styles that invoke the basics in early American residential architecture. This style is prevalent in New England and it has been recently and successfully interpreted by the likes of Architect Robert Stem in some of his custom work in the Hamptons.

4.4.1 Exterior Materials

- The most common material is wood or cementitious materials made to appear like wood, usually horizontal siding and shingles.
- Reflecting the location of the home, indigenous material such as stone or easy to produce brick were also seen for exterior surfaces.
- Covered entries and front porches are common and often show columns, and other formal elements.
- Stucco may be used on the side and rear elevations.

4.4.2 Roofs

- Roof pitches are typically steeper.
- Roof lines are simple. Although gable-ended configurations are the most common, hips also exist.
- The gambrel roof is also common. It is usually steep in pitch.
- Dormer windows often exist in this style.
- Chimneys are typically large, although simple and in brick or stone.
- Cornices are usually shown with minimal overhang that is often boxed, but not necessary. No exposed rafter tails.
- Premium composition shingles.

4.4.3 Windows

- ✦ Generally rectangular in shape, with taller proportions, and with divided lights.
- ✦ Often side windows are adjacent to the entry door.
- ✦ Window surrounds exist and are usually simple. Shutters usually accompany the windows.
- ✦ Dormer windows are common.
- ✦ Half round and oval windows with wood trim, and often with dividers (mullions) are also common.

4.4.4 Design Features

- ✦ Proportions to the mass of the home are generally vertical in nature and simple yet strong in form.
- ✦ The front door/entry porch is a detailed counterpoint to the facade and windows.
- ✦ Gambrel roofs and dormers are common to this style.
- ✦ Simple basic colors adorn this style.

4.4.5 Colors

- ✦ Accent colors are played against white enamel wood trim.
- ✦ Front doors are typically white or in an accent color.
- ✦ Masonry accents are usually left natural earth tone, but can be painted white.
- ✦ Siding colors can include shades of yellow, blue, gray in addition to beige, whites and greens.
- ✦ Shutters are typically painted in accent colors. Often matching the color of the front door, they can include black, charcoal, blue, green, dark shades of red.

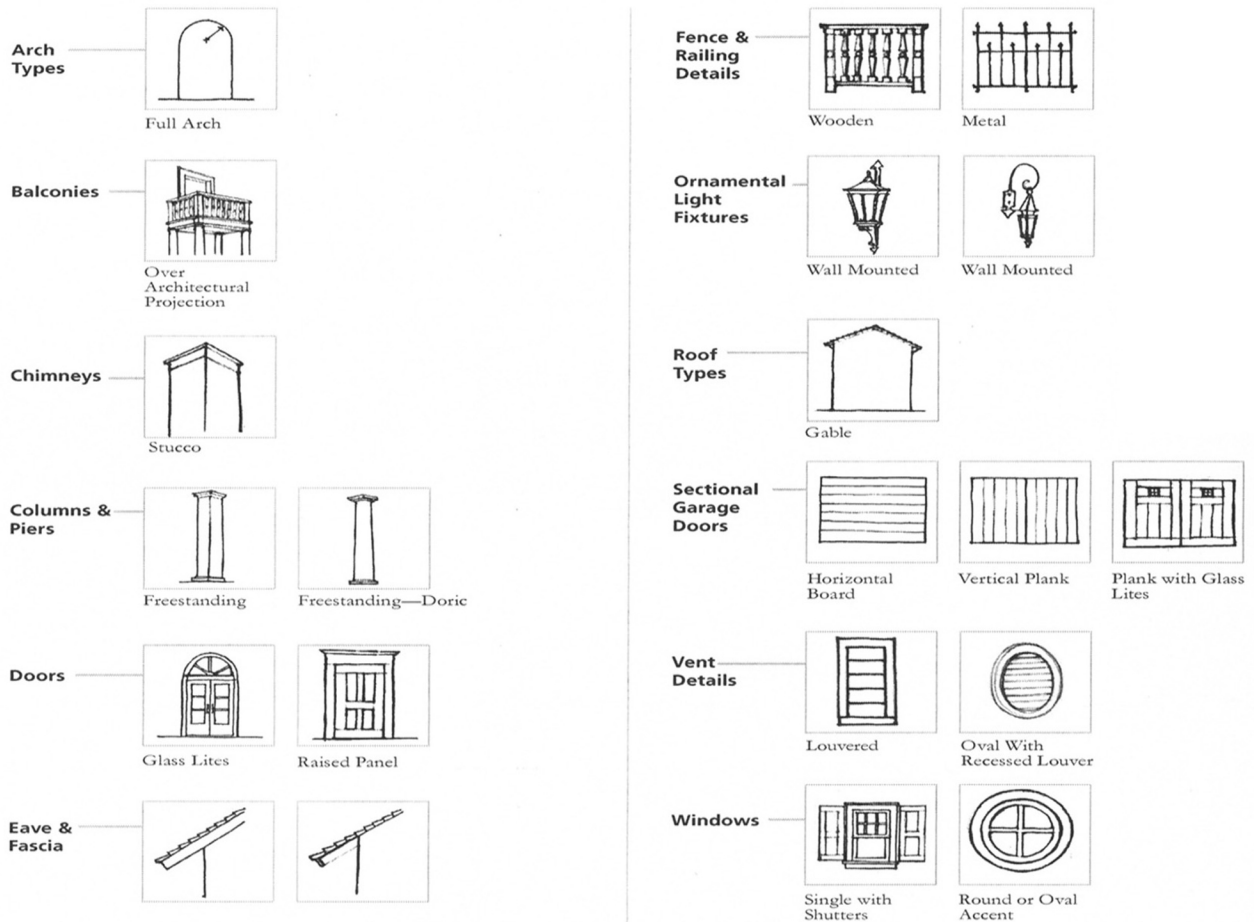
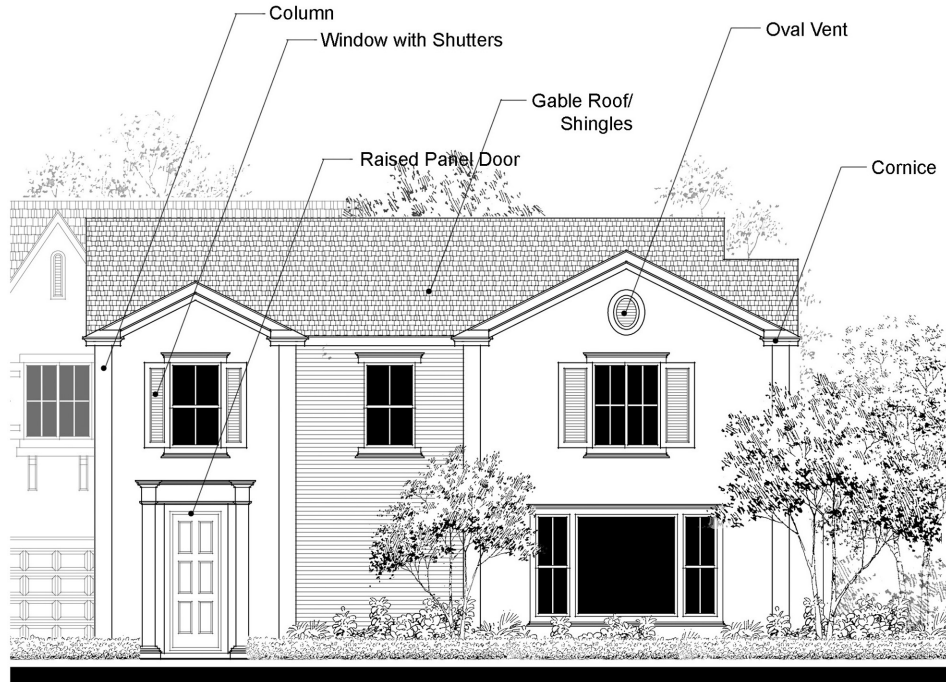


Exhibit 15
Traditional Features



Exhibit 16
Traditional Style

4.5 COTTAGE STYLE

The Cottage series is a picturesque group-
ing derived from English Cottage and American
Eclecticism prototypes. Historical characteris-
tics of this style include massive chimneys, dor-
mers and tall, narrow multi-paned windows that
are usually grouped. The design elements of the
English and European Rustic Cottages are steep
roofs and half timbered ornamentation. The design
elements of the American Cottage are shallow roof
slopes and wider spans and tapered columns. The
overall shapes and forms contain endless varia-
tions of one and two story asymmetrical facades.
Many of the American Cottages, influenced great-
ly by Craftsman Style homes, have provided a
strong influence in older communities of Southern
California. Exhibit 17, "Cottage Features," and
Exhibit 18, "Cottage Style," illustrate the American
"Cottage Style" of architecture.

With California's even and temperate climate, the
idea of a home as a shelter from the elements is
transformed into one that invites outdoor living
with porches. The wide overhangs protect against
the high sun angles. Interiors and exteriors flow
easily from one to the other.

4.5.1 Exterior Materials

- Stucco fine to medium sand finish.
- River rock or brick can also be used for accent
areas such as chimneys and column bases.
- Exposed wood beams stained or painted in
natural colors.

4.5.2 Roofs

- Roof pitch at main roof is 5:12 to
6:12 standard.
- Roofs often carried forward from the residence
to define a covered front porch.
- Exposed wood beams, knee braces or other in-
dications of structural support.
- Premium grade shingle style composition roofs.

4.5.3 Windows

- Primarily vertical in proportion, although some
horizontal windows appear under second-story
roof lines.
- Frequently, divided windows with break-ups
and wood trim are used.

4.5.4 Design Features

- Low horizontal emphasis with single
story edges.
- The covered front porch is a major design state-
ment, to reinforce outdoor living.
- Natural materials are expressed, especially
wood stains and colors.
- Porch columns are often wide, tapered, and
support a wooden post.
- The emphasis on clean, simple, and direct
forms for both elevations and floor plans.

4.5.5 Colors

- Wood is often in earth tones and stains.
- Stucco is usually found in lighter tones, as a
counterpoint to the darker earth tone accents.
- Some use of gray, off-whites, beiges, greens.
- Trim pieces can be stronger in color. Less
frequently seen but still appropriate are
white trims.
- Front doors often left in natural wood colors.

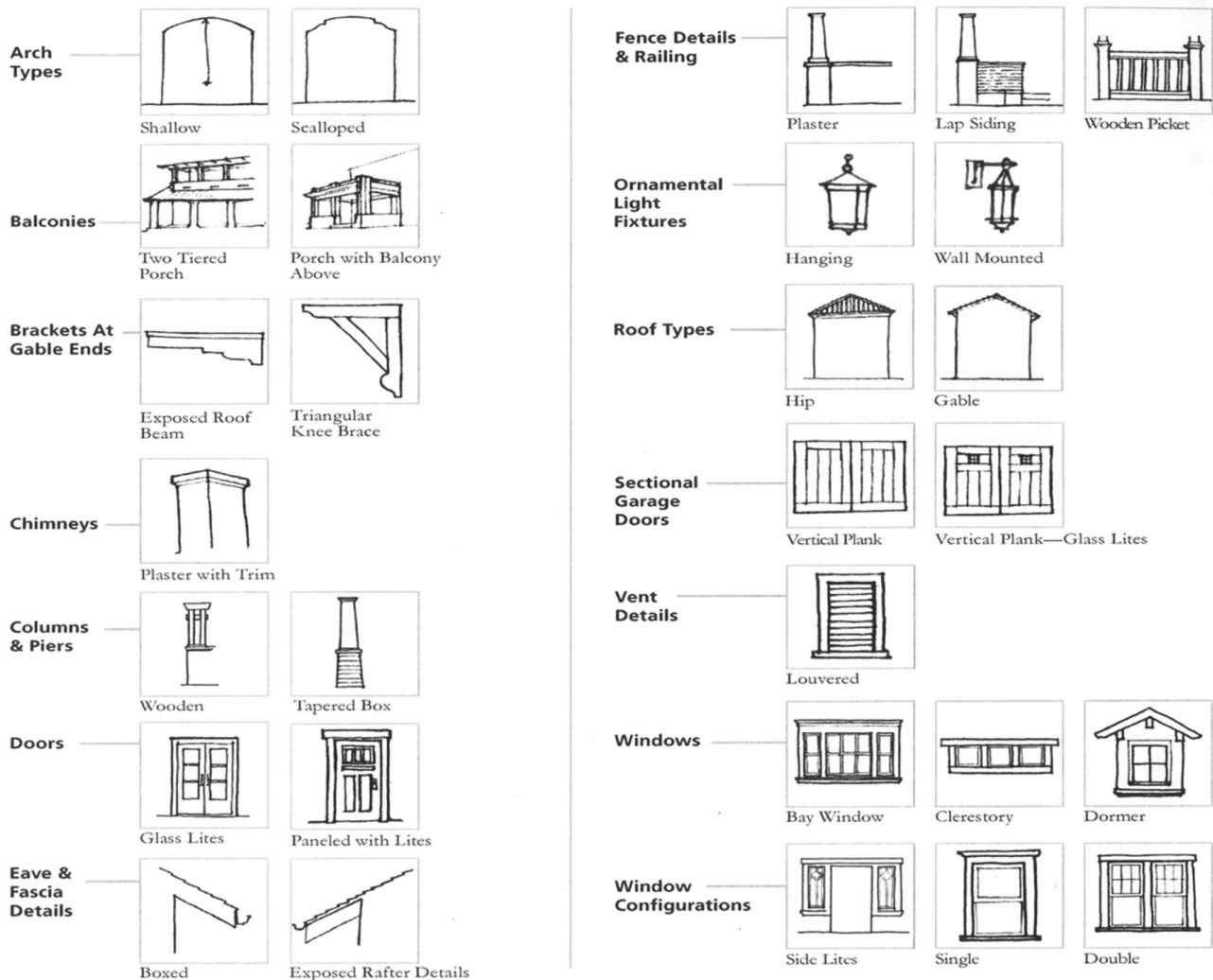


Exhibit 17
Cottage Features

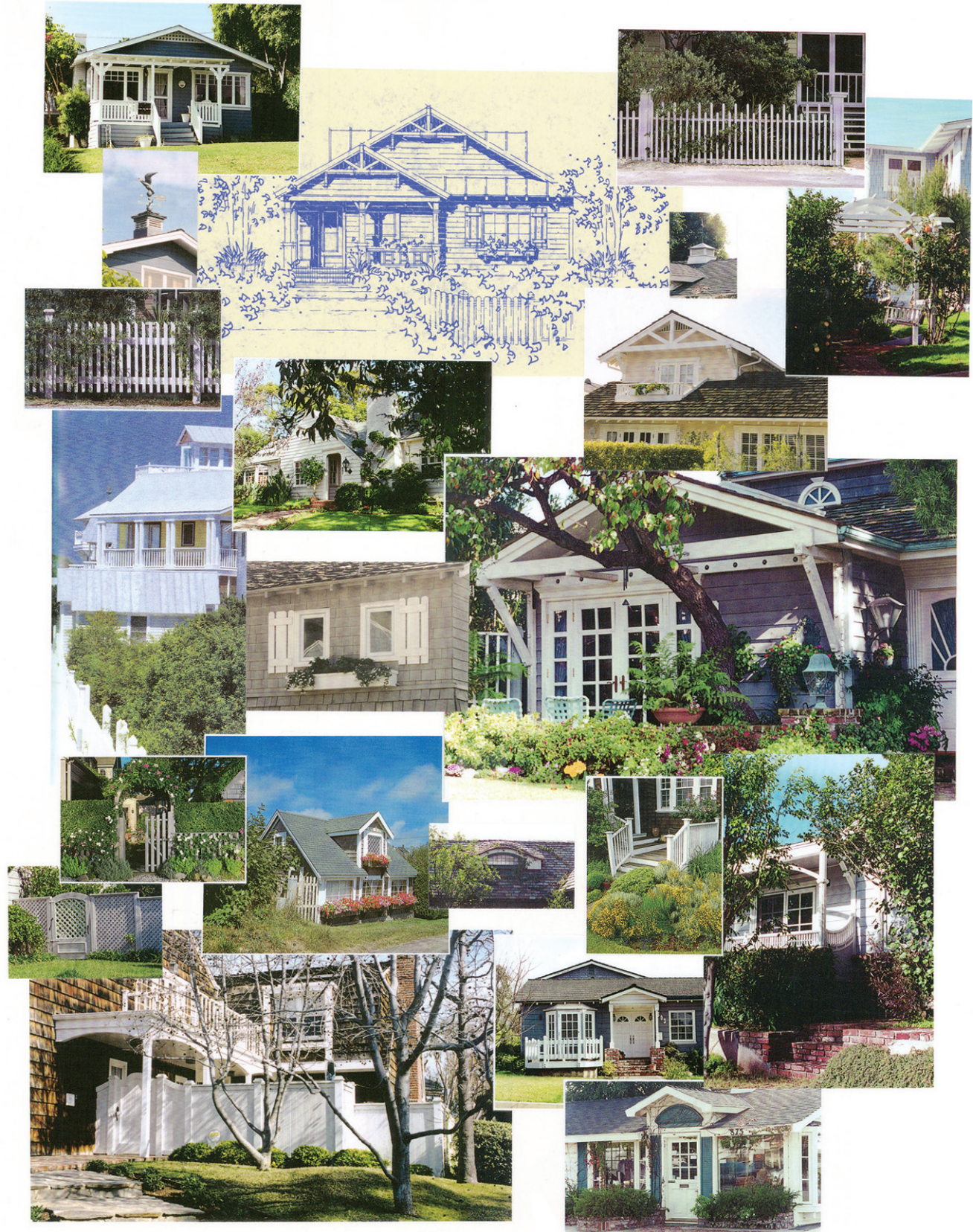


Exhibit 18
Cottage Style

4.6 LANDSCAPE DESIGN GUIDELINES

4.6.1 General

The landscape design guidelines are intended to provide a framework for high quality design within the Wyeth Cove Specific Plan and to provide guidance and criteria to planners, engineers, architects, developers and homeowners. The design guidelines express the desired character of future development to achieve a unified community environment through control of specific development features while allowing for creativity in design.

4.6.1.1 Site Landscaping

The intent of the site landscaping is to control the appearance of the development with respect to scale, proportion, height, materials and colors while still encouraging variety and innovation. The landscape concept for the Wyeth Cove Specific Plan is illustrated on Exhibit 19, "Conceptual Landscape Plan."

4.6.1.2 Landscape Elements

Landscape Design encompasses "hardscape" elements such as entry monuments, signage, walls, fences, gates, fountains, garden ornamentation, paving, recreation and picnic equipment, as well as "softscape" elements such as trees, shrubs, vines and ground cover. Areas closest to community entries and buildings should be the most formal and tailored, becoming looser and more informal as one moves toward large open spaces, slopes and/or the project perimeter.

All landscape elements should be compatible with the scale of the adjacent architecture and the surrounding space. Water conservation and long term maintenance should be kept in mind when selecting specific plant material. Hydrozoning (grouping plants with similar water requirements) is encouraged. Table 3, "Suggested Plant List" provides

planting guidelines for both common and private areas. Compliance with the most current city standards is required. The following guidelines address the design of specific landscape elements within the Wyeth Cove Specific Plan.

4.6.2 Hardscape Elements

4.6.2.1 Entry Monumentation

May be stucco, split face block, or stone-faced. Concrete, stone and/or brick caps are permitted.

4.6.2.2 Walls

May be split face block. Colored block, concrete and/or brick caps are permitted.

4.6.2.3 Fences

Wood or vinyl fencing may only be used if not visible from public areas and/or streets. Tubular steel fencing is permitted to secure tot lot areas.

4.6.2.4 Fountains and Garden Ornamentation

Are permitted if in keeping with the architectural theme of the community.

4.6.2.5 Paving

May be plain or colored concrete (with or without a retardant, acid washed or seeded aggregate finish), stone, unit pavers and stamped concrete and/or other materials that are utilized on the architectural elevations, and should be in keeping with the architectural theme of the community. The use of enhanced paving at accent areas is encouraged.

4.6.2.6 Recreation and Picnic Equipment

May be wood, vinyl or metal in colors compatible with surrounding community elements.

4.6.3 Softscape Elements

4.6.3.1 Trees

Street trees should be 15 gallon minimum size and maximum 40' on center, and should be a consistent species for any given street. Mature size of the selected species should be appropriate to the width of the area where they will be located. If there is space allowing for "back-up" trees between the sidewalk and perimeter wall or building face, they should be at least in part evergreen, and located in a manner which breaks up views of the architecture from the street. Trees in open space, park or recreation areas are encouraged to be in part deciduous to allow for shade in the summer and sun in winter. Flowering trees are suggested for accents.

4.6.3.2 Shrubs

Layers of shrubs of different sizes, textures and colors are encouraged to create interest.

4.6.3.3 Vines

Vines are suggested for use on walls as a softening element and to discourage graffiti.

4.6.3.4 Ground Cover

Lawn may be used in large, flat or gently sloping areas, however, water conservation should be kept in mind. Medium grind, shredded bark mulch is recommended for use under shrubs.

Exhibit, 20, "Streetscapes and Entries," Exhibit 21, "Hardscape Features," and Exhibit 22, "Conceptual Courtyard Landscape Plan," illustrate the application of key landscape elements for the Wyeth Cove Specific Plan.

BOTANICAL NAME	COMMON NAME	WATER REQ.
	MARINA MADRONE	MOD
	STRAWBERRY TREE	LOW
	EUROPEAN WHITE BIRCH	HIGH
	BOTTLE TREE	LOW
	LEMON BOTTLEBRUSH	LOW
	WEeping BOTTLEBRUSH	MOD
	CAMPHOR TREE	MOD
	CARROTWOOD	MOD
	ITALIAN CYPRESS	LOW
	COPPERTONE LOQUAT	MOD
	BRONZE LOQUAT	MOD
	RED FLOWERING GUM	MOD
	SPOTTED GUM	MOD
	NICHOL'S PEPPERMINT	MOD
	SILVER DOLLAR GUM	LOW
	CORAL GUM	LOW
	PINEAPPLE GUAVA	MOD
	AUSTRALIAN WILLOW	MOD
	JACARANDA	MOD
	CHINESE FLAME TREE	MOD
	GOLDENRAIN TREE	MOD
	MUSKOGEE CRAPE MYRTLE	MOD
	NATCHEZ CRAPE MYRTLE	MOD
	TUSCARORA CRAPE MYRTLE	MOD
	SWEET BAY	LOW
	AUSTRALIAN TEA TREE	LOW
	JAPANESE PRIVET	MOD
	AMERICAN SWEET GUM	MOD
	MAJESTIC BEAUTY MAGNOLIA	MOD
	SAMUEL SOMMER MAGNOLIA	MOD
	ST. MARY MAGNOLIA	MOD
	FLAXLEAF PAPERBARK	LOW
	FRUITLESS OLIVE	LOW
	FRASER'S PHOTINIA	MOD
	CANARY ISLAND PINE	MOD
	AFGHAN PINE	LOW
	LONDON PLANE TREE	MOD
	FERN PINE	MOD
	CAROLINA LAUREL CHERRY	MOD

Table 3
Suggested Plant List

BOTANICAL NAME	COMMON NAME	WATER REQ.
	PURPLE LEAF PLUM	MOD
	KRAUTER PURPLE PLUM	MOD
	THUNDERCLOUD PLUM	MOD
	ARISTOCRAT PEAR	MOD
	BRADFORD PEAR	MOD
	CHANTICLEER PEAR	MOD
	REDSPIRE PEAR	MOD
	COAST LIVE OAK	LOW
	HOLLY OAK	LOW
	AFRICAN SUMAC	LOW
	CALIFORNIA PEPPER	LOW
	WATER GUM	MOD
	EVERGREEN ELM	MOD
	FRONTIER ELM	MOD
	EDWARD GOUCHER ABELIA	MOD
	LILY-OF-THE-NILE	MOD
	EMERALD CARPET MANZANITA	LOW
	GUINEA GOLD PLANT	MOD
	GREEN BEAUTY BOXWOOD	MOD
	LITTLE JOHN BOTTLEBRUSH	MOD
	ANCHOR BAY CEANOTHUS	LOW
	WHITE ROCKROSE	LOW
	SHRUB MORNING GLORY	LOW
	CREEPING COPROSMA	MOD
	COREOPSIS	LOW
	RED AUSTRALIAN FUCHSIA	LOW
	FALSE HEATHER	MOD
	N.C.N.	MOD
	PINK BREATH OF HEAVEN	MOD
	PURPLE HOPSEED BUSH	MOD
	SILVERBERRY	LOW
	ESCALLONIA	MOD
	SILVER QUEEN EUONYMUS	MOD
	VAR. BOX-LEAF EUONYMUS	MOD
	GOLDEN SHRUB DAISY	LOW
	GREVILLEA	LOW
	EVERGREEN DAY LILY	MOD
	DWARF YAUPON	LOW
	ARMSTRONG JUNIPER	MOD

Table 3 (cont.)
Suggested Plant List

BOTANICAL NAME	COMMON NAME	WATER REQ.
	BAR HARBOR JUNIPER	MOD
	N.C.N.	LOW
	FRENCH GRAY LAVENDER	LOW
	RUBY GLOW N. Z. TEA TREE	LOW
	TEXAS PRIVET	MOD
	SILVERY SUNPROOF LILY TURF	MOD
	PACIFIC MYOPORUM	MOD
	COMPACT HEAVENLY BAMBOO	MOD
	IVY GERANIUM	MOD
	SCARLET BUGLER	LOW
	NEW ZEALAND FLAX	MOD
	FRASER'S PHOTINIA	MOD
	CRÈME DE MINT TOBIRA	MOD
	MOCK ORANGE	MOD
	MAKI FERN PINE	MOD
	BRITE 'N'TITE CAROLINA CHERRY	MOD
	SANTA CRUZ FIRETHORN	MOD
	BALLERINA INDIA HAWTHORN	MOD
	ICEBERG ROSE	MOD
	PINK FLOWER CARPET ROSE	MOD
	LOCKWOOD ROSEMARY	LOW
	CLEVELAND SAGE	LOW
	AUSTRALIAN BLUEBELL	LOW
	STAR JASMINE	MOD
	JAPANESE VIBURNUM	MOD
	COMPACT XYLOSMA	MOD
	VIOLET TRUMPET VINE	MOD
	BLOOD RED TRUMPET VINE	MOD
	BRONZE LOQUAT	MOD
	CREEPING FIG	MOD
	CAROLINA JESSAMINE	MOD
	LAVENDER STARFLOWER	MOD
	PINK JASMINE	MOD
	CAT'S CLAW	LOW
	BOSTON IVY	MOD
	FERN PINE	MOD
	FIRETHORN	MOD
	CECILE BRUNNER ROSE	MOD
	WHITE LADY BANKS ROSE	MOD

Table 3 (cont.)
Suggested Plant List

BOTANICAL NAME	COMMON NAME	WATER REQ.
	YELLOW LADY BANKS ROSE	MOD
	STAR JASMINE	MOD
	STAR JASMINE	MOD
	CHINESE WISTERIA	MOD
	CARPET BUGLE	HIGH
	MARATHON TALL FESCUE	HIGH
	ORNAMENTAL STRAWBERRY	MOD
	TRAILING GAZANIA	MOD
	NEEDLEPOINT ENGLISH IVY	MOD
	HALL'S HONEYSUCKLE	LOW
	HUNTINGTON BLUE ROSEMARY	LOW
	ASIAN JASMINE	MOD
	DWARF PERIWINKLE	MOD
	PERUVIAN VERBENA	LOW

Table 3 (cont.)
Suggested Plant List



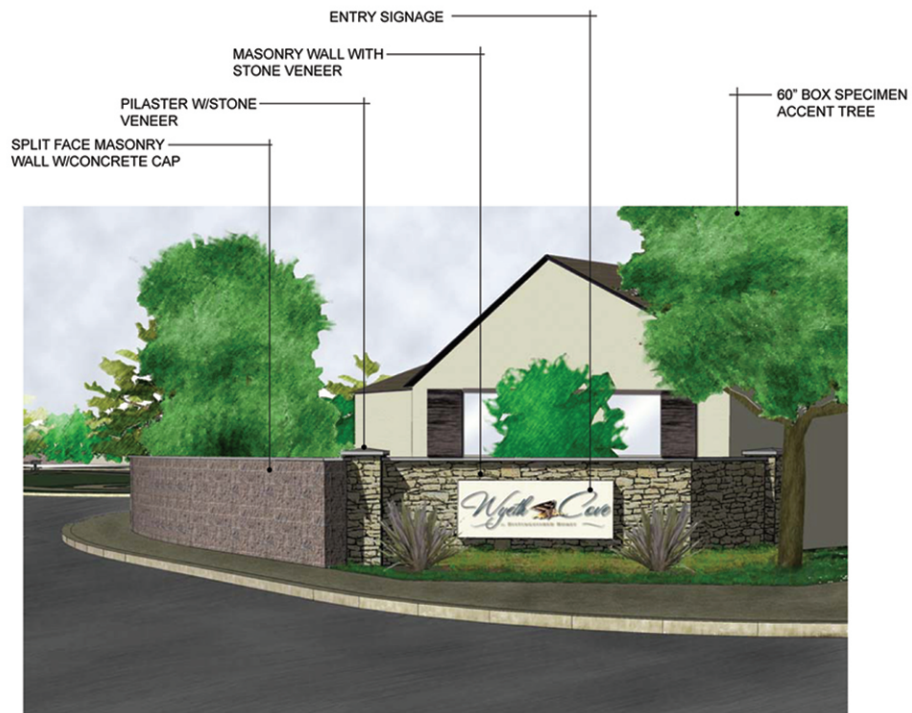
Exhibit 19
Conceptual Landscape Plan



ENHANCED ENTRY TREATMENT



BIRD'S EYE VIEW



ENTRY TREATMENT

Exhibit 20
Streetscapes and Entries

11x17

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Exhibit 21

Hardscape Features

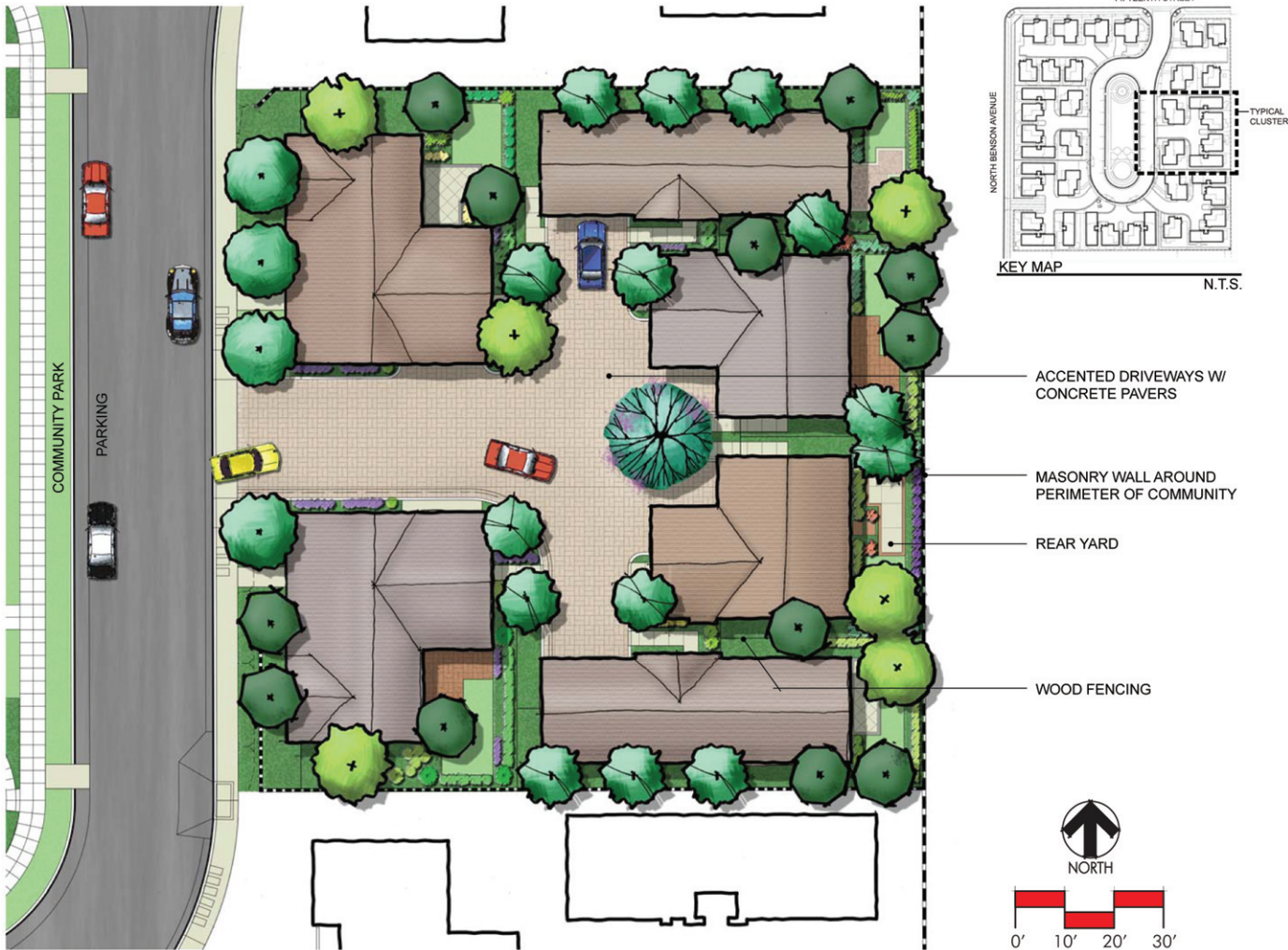


Exhibit 22
Conceptual Courtyard Landscape Plan

SECTION 5. IMPLEMENTATION

The City of Upland will adopt the Wyeth Cove Specific Plan by ordinance. Following approval by the City, the Wyeth Cove Specific Plan will serve as the implementation tool for the General Plan as well as the zoning for the Project Site. The Specific Plan addresses general provisions, permitted uses, development standards, and community design guidelines. Concurrently with or pursuant to the adoption of the Specific Plan, the City Planning Commission will also approve a tentative tract map establishing legal development lots within the Project Site.

5.1 METHODS AND INTERPRETATION

Development within the Wyeth Cove Specific Plan shall be implemented through the approval by the City of a tentative and final tract map and through development plans approved through the Development Review process as established in the City of Upland Zoning Code. The implementation process described below provides for the mechanisms for review and approval of the development project proposed within the Wyeth Cove Specific Plan.

5.2 APPLICABILITY

All development proposals within the Wyeth Cove Specific Plan shall be subject to the implementation procedures established herein. Whenever the provisions and development standards contained herein conflict with those contained in the City of Upland Zoning Code, the provisions of the Wyeth Cove Specific Plan shall take precedence.

5.3 INTERPRETATION

Unless otherwise provided, any ambiguity concerning the content or application of the Wyeth Cove Specific Plan shall be resolved by the City of Upland Planning Director (Director) or his/her designee in a manner consistent with the goals, policies, purpose and intent established in this Specific Plan.

5.4 IMPLEMENTATION OF DESIGN GUIDELINES

Adoption of the Wyeth Cove Specific Plan by the City includes adoption of the design guidelines contained herein, which shall be the design criteria by which the development project within the Wyeth Cove Specific Plan area will be reviewed during Development Review. The design guidelines are intended to be flexible in nature while establishing basic evaluation criteria for the review by the City of the applicant's development project during Development Review.

Any major deviation from the design guidelines within the Wyeth Cove Specific Plan shall require approval by the Planning Commission. The determination of a major deviation from the design guidelines shall be made by the Director. A variation of up to 20% of any quantifiable design criteria is considered minor and may be approved by staff.

5.5 DEVELOPMENT REVIEW

5.5.1 Subdivision Maps

Approval of a tentative tract map will occur concurrently with the adoption of the Wyeth Cove Specific Plan. The tentative and final tract map will be reviewed and approved pursuant to applicable provisions of the City of Upland Subdivision Ordinance and consistent with the applicable provisions of Land Use, Infrastructure, Design Guidelines, and Development Regulations contained within the Wyeth Cove Specific Plan.

5.5.2 Site Plan and Architectural Review

The specific development project proposed for the Wyeth Cove Specific Plan shall be subject to the Development Review process as established in Section 9404.100 of the City's Zoning Code. Pursuant to these provisions, the Development Review process constitutes a design review of project architecture, site plans, and landscape plans. Adoption of the Wyeth Cove Specific Plan by the City includes adoption of the design guidelines contained within the Specific Plan and which provide direction for the design of the development project within the Project Site. Where the development regulations and design guidelines are silent, the applicable development regulations and design guidelines contained within the City's Zoning Code shall apply.

The Development Review application shall include a landscape and irrigation plan describing plant materials and their growth habits, plant size and spacing, methods of irrigation and landscaping maintenance, site plans, architectural elevations, floor plans, grading plans and other requirements as specified by the City.

5.6 SPECIFIC PLAN MODIFICATIONS AND AMENDMENTS

5.6.1 Minor Modifications

The following constitute minor modifications to the Specific Plan, not requiring a Specific Plan Amendment, and are subject to review and approval by the Director. The Director shall have the discretion to refer any such request for modification to the Planning Commission or the City Council.

- a. Change in utility and/or public service provider.

- b. Minor changes to landscape materials, wall materials, wall alignment, entry design, and streetscape design which are consistent with the conceptual design set forth in the design guidelines contained within the Specific Plan.
- c. Minor changes to the design guidelines, which are intended to be conceptual in nature only, and are intended to be flexible in implementation.
- d. Other modifications of a similar nature to those listed above, which are deemed minor by the Director, which are in keeping with the purpose and intent of the approved Wyeth Cove Specific Plan and which are in conformance with the General Plan.

5.6.2 Specific Plan Amendments

Amendments to the Wyeth Cove Specific Plan may be requested by the applicant or by the City at any time pursuant to Section 65453(a) of the Government Code. Amendments shall be processed pursuant to the provisions of the Government Code for Specific Plan Amendments. In the event the proposed amendment requires supplemental environmental analysis pursuant to the California Environmental Quality Act (CEQA), the applicant(s) are responsible for preparing the necessary CEQA documentation.

5.7 APPEALS

Appeals from any determination of the Director shall be made to the Planning Commission. The applicant(s) or any other entity shall have the right to appeal the decision of the Planning Commission on any determination by filing an application on forms provided by the City of Upland. Appeals shall be processed consistent with the provisions of the City of Upland Zoning Code.

5.8 COMPLIANCE WITH MITIGATION MEASURES

The City of Upland will adopt a mitigated negative declaration (MND) prepared for the Wyeth Cove Specific Plan concurrently with the adoption of the Specific Plan. Development within the Project Site shall comply with all approved mitigation measures as described in the MND.

5.9 PROJECT FINANCING

Construction of public improvements to serve the Wyeth Cove Specific Plan will be financed through private funding mechanisms.

5.10 PROJECT PHASING

Phasing of the Wyeth Cove Specific Plan will meet the following objectives:

- ♦ Orderly build-out of the community based upon market and economic conditions.
- ♦ Provision of adequate infrastructure and public facilities.
- ♦ Protection of public health, safety and welfare.

The phasing of residential development areas will be determined by the developer. The development of residential uses will be implemented through the approval of a tentative and final tract map and permits pursuant to the Development Review process. Three main phases of site development will be implemented as described below.

Phase 1 - Rough grading and installation of improvements to Benson Avenue and 15th Street, connections to off-site backbone infrastructure, and on-site infrastructure.

Phase 2 - Construction of Recreation /Sales facility and residential model home units.

Phase 3 - Construction of residential units, open space, landscape, and irrigation systems.

5.11 MAINTENANCE

- a. All curb, gutter, sidewalk and landscape improvements constructed for Benson Avenue and 15th Street as part of the project will be dedicated to the City of Upland and will be maintained by the City.
- b. All driveways within the Project Site shall be private and maintained by the project Homeowner Association.
- c. Front yard and common area landscape improvements within the Project Site shall be maintained by the project Homeowner Association.
- d. Recreational areas and parks within the Project Site will be maintained by the project Homeowner Association.
- e. All on-site sewer mains, and storm drains within the Project Site shall be privately constructed and maintained by the Homeowner Association.
- f. On-site water and off-site infrastructure improvements such as water, sewer, and storm drain facilities will be dedicated to and maintained by the appropriate responsible agency.

SECTION 6. GENERAL PLAN CONSISTENCY

California Government Code (Title 7, Division 1, Chapter 3, Article 8, Section 65450-65457) permits the adoption and administration of specific plans as an implementation tool for elements contained in the local general plan. Specific plans must demonstrate consistency in regulations, guidelines, and programs with the goals and policies set forth in the general plan. The Wyeth Cove Specific Plan provides regulations, guidelines and standards that are consistent with the goals and policies of the City of Upland General Plan.

Prior to the adoption by the City of Upland of the Wyeth Cove Specific Plan, the City will adopt a General Plan Amendment changing the General Plan land use designation for the Specific Plan area from “Light Industrial” to “Single Family Residential (7-10 dwelling units per acre).” Pursuant to the adoption of the General Plan Amendment for the Specific Plan Area the Specific Plan will be consistent with the General Plan as discussed in the following section.

6.1 LAND USE

This section lists the goals and strategies of the City of Upland Land Use Element applicable to the Specific Plan and describes how the proposed Wyeth Cove Specific Plan complies.

GOAL:

Create cohesive neighborhoods with compatible land use patterns.

STRATEGY:

- ♦ Designate appropriate areas to meet the demand for diverse types of housing, with properly related amenities and facilities.

PROJECT CONSISTENCY:

The Wyeth Cove Specific Plan is a proposal to rezone a 4.3 acre property from “Light Industrial” to “Specific Plan” consistent with the General Plan Amendment approved by the City changing the General Plan land use designation for the property from “Light Industrial” to “Single Family Residential (7-10 dwelling units per acre).” The change in zoning designates a site appropriate for the development of up to 40 residential single family dwelling units to meet the housing needs of families and individuals desiring to purchase a single family home in a master planned setting. The proposed development project will include a centrally located park offering passive recreational opportunities for project residents. The proposed project is located adjacent to a public park on the east providing active recreational opportunities for residents of the project. The project is consistent with this goal and strategy.

GOAL:

Provide a healthy, affordable, and desirable living environment through the application of space and occupancy standards and acceptable planning and development principles.

STRATEGIES:

- ♦ Permit a range of residential unit types and densities to establish low-density areas to be preserved, mixed-use areas to be protected, low-and medium-density housing opportunities, areas needing stabilization, and areas which could benefit from recycling. Such a range includes:
 - a. Single Family 7-10 du/ac.
- ♦ Accommodate land use changes in accordance with the Land Use Map for the City.

PROJECT CONSISTENCY:

The proposed Wyeth Cove Specific Plan represents the recycling of an undeveloped area designated for light industrial land uses to a single family residen-

tial land use between 7 and 10 dwelling units per acre. The proposed density range is consistent with the General Plan Amendment approved by the City changing the General Plan land use designation for the area from “Light Industrial” to “Single Family Residential” (7-10 dwelling units per acre). The project is consistent with this goal and strategy.

6.2 HOUSING

This section describes the applicable goals of the City’s Housing Element as it relates to the Specific Plan.

GOAL:

To assist in the development of adequate housing to meet the City’s fair share of the region’s housing needs for all economic segments of the population, including low-and moderate-income households.

PROJECT CONSISTENCY:

The proposed Wyeth Cove Specific Plan, when adopted, will permit the development of up to 40 single family residential dwelling units increasing the City’s housing stock and contributing to the City’s fair share of the region’s housing needs. The project is consistent with this goal.

GOAL:

Reduce residential energy use within the City.

PROJECT CONSISTENCY:

The project will comply with all the State Energy Insulation Standards (Title 24) and City of Upland codes in effect at the time of application for building permits. By meeting the State and City energy requirements the project will be consistent with this goal.

Section 6. GENERAL PLAN CONSISTENCY

6.3 CIRCULATION

This section describes the Circulation Element as it relates to the Specific Plan.

GOAL:

To develop transportation planning, services and facilities that are coordinated with and support the Land Use Plan.

STRATEGIES:

- Any new development of property shall be required to provide adequate right of way width for possible future needs and to provide for traffic patterns necessary to accommodate future growth needs.
- All streets in the City shall be constructed in accordance with the Circulation Plan and construction standards as established by the City Public Works Director.
- Approval of all new development shall be correlated with roadway improvements that would be necessary to either: maintain an acceptable level of service; or reduce the impact of the development below the established minimum level of service. Development should not be authorized until appropriate funding mechanisms are in place to fund associated roadway improvements.

PROJECT CONSISTENCY:

The proposed project will be responsible for improvements to the public right of way adjacent to the project site in accordance with required General Plan right of way improvements. The circulation system for the project has been designed so vehicles can safely travel to and from their destination easily and without creating significant movement conflicts. All public and private roadway improvements required as part of the project will be funded by the development. Therefore, the project is consistent with this goal.

Section 6. GENERAL PLAN CONSISTENCY

GOAL:

To minimize the impact of existing and future roadways on adjacent land uses, particularly residential, and ensure compatibility between land uses and roadway facilities to the greatest extent possible.

STRATEGIES:

- Direct access of new residential developments onto major arterial streets shall be discouraged.
- Where feasible, circulation improvements shall be implemented that minimize impacts on adjacent residential neighborhoods.
- All roadways shall be encouraged to be designed in a manner that will enhance the interplay of vehicular and pedestrian safety.

PROJECT CONSISTENCY:

The proposed project is designed to provide access to up to 40 single family residential dwellings from a single driveway entry off of 15th street via a private loop road within the project. The private loop road will include sidewalks allowing for the safe movement of residents through the community walking to the centrally located park and through the community. The project is consistent with this goal.

GOAL:

To accommodate alternative modes of transportation to the private automobile in the City, including non-motorized transportation (bicycle and pedestrian), public transportation and recreational trails.

STRATEGY:

- All new development shall be required to provide sidewalks, in accordance with the Master Plan of Streets and Highways.

PROJECT CONSISTENCY:

The private loop road proposed for the project will include sidewalks allowing for the safe movement of residents through the community walking to the centrally located park and through the community. The project is consistent with this goal.

GOAL:

To achieve a balance between parking supply and demand so that an adequate supply of parking is provided to meet the demands generated by the Land Use Element.

STRATEGY:

- All new development shall be required to provide adequate parking to meet their parking demands on-site or in consolidated parking facilities in close proximity to their site.

PROJECT CONSISTENCY:

The proposed Wyeth Cove Specific Plan requires that new development within the Specific Plan area provide two garage spaces per residential unit to meet the parking needs of residents. Guest parking to serve the community will be provided at a ratio of .5 parking spaces per dwelling unit and will be provided within driveways and available on the private loop road. The project is consistent with this goal.

GOAL:

To promote the aesthetic qualities of the street system:

STRATEGIES:

- All new development shall be encouraged to provide landscaped parkways, appropriate pedestrian amenities and other streetscape improvements that improve the aesthetics of the roadway to both vehicular and pedestrian traffic.
- Adequate street lighting that is energy efficient and appropriate to the area shall be encouraged.

PROJECT CONSISTENCY:

The Wyeth Cove Specific Plan includes landscape design guidelines to promote the development of landscaped pedestrian walkways, an enhanced project entry and a lushly landscaped parkway adjacent to the centrally located park to be developed as part of the project. The development of these amenities will provide consistency of the project with this goal.

6.4 NOISE

This section describes the Noise Element as it relates to the Specific Plan.

POLICY:

Proposed development projects should not generate noise which violates the noise ordinance (if enacted) or results in a noise level above “satisfactory,” as determined by the noise compatibility standards, on nearby property. Project applicants should reduce or buffer the noise generated therein so as not to create an unsatisfactory noise environment for others.

PROJECT CONSISTENCY:

Development within the Wyeth Cove Specific Plan area will implement City noise ordinances and policies to minimize unwanted noise from the project to nearby properties. The project is consistent with this goal.